



Downtown Strathroy Urban Design Guidelines

June 2018 | Re: public Urbanism

Downtown Strathroy Urban Design Guidelines

Prepared for the Municipality of Strathroy-Cardoc
Prepared by Re: public Urbanism

June 2018

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1.0 Background

Like many downtowns across Ontario, Downtown Strathroy has experienced a dramatic change in its role and makeup both within the town itself and the broader region. This changing role has had an impact on the vitality of the downtown as well as its built form. As the downtown continues to evolve, and as the Municipality continues to support revitalisation and redevelopment efforts, it is important that the unique character of the downtown is preserved and enhanced to ensure that the downtown retains its preeminent role. To help achieve this, in 2018 the Municipality commissioned Re: public Urbanism to develop urban design guidelines for Downtown Strathroy.



1.1 Introduction

1.1.1 Basis & Authority

The Strathroy-Caradoc Official Plan, the Downtown Strathroy Master Plan, and the About Face Community Improvement Plan all support the creation of urban design guidelines for Downtown Strathroy. In particular Section 26.5 of the Official Plan provides the Municipality with the direction to create guidelines.

This document is the result of background research and public consultation that analysed: Policy and regulatory context; Urban structure and building typologies; Mobility and gateways; Landscape and public realm; and, Public / private interface.

The background research also identified a series of distinct "character areas" within the downtown as well as the general opportunities and constraints associated with development and redevelopment in

the downtown. The results of this work is summarised in the *Downtown Strathroy Urban Design Guidelines: Background Report*.

1.1.2 Purpose of the Guidelines

The purpose of these guidelines is to establish a consistent and thoughtful approach to development and redevelopment in Downtown Strathroy as well as the appropriate and sympathetic renovation of historical buildings in the downtown. The guidelines have been developed to help preserve and enhance the unique character of the downtown and support revitalisation opportunities. The document is intended to assist the Municipality, property owners, businesses, developers and the general public in better understanding the urban form of the downtown and how best to introduce new development and undertake redevelopment and renovations of existing buildings.

1.1.3 The Role of the Guidelines

Policy and regulatory direction for development in the downtown, and across the Municipality, can be found in the Municipality's Official Plan and Zoning By-law. Development incentives are found in the Municipality's Community Improvement Plan, and an overarching vision of the downtown is found in the Downtown Strathroy Master Plan. These guidelines are intended to supplement the direction found in these documents by providing detailed guidance on appropriate and desirable urban form. While the Official Plan, Zoning By-law, Community Improvement Plan, and Master Plan provide general direction on the type, scale, and composition of development that is appropriate and desirable, they do not articulate the details of how this development is to occur. It is the role of these guidelines to articulate that detail in support of the policy and regulatory direction of these documents.

As a "guideline" this document does not form part of the Official Plan or the Zoning By-law. They should be understood as one tool in the Municipality's overall planning framework and they should be read in conjunction with all other relevant documents. By virtue of their statutory status, the Official Plan and the Zoning By-law will always take precedence over the guidelines.

The guidelines are intended to act as an additional resource for municipal staff to assess development application and to help both staff and applicants engage in meaningful discussions about urban design and heritage conservation based on a common understanding of good urban design and clear expectations.

The guidelines are also intended to act as a community resource for property owners considering renovations or redevelopment that may not involve a development application, by helping to illustrate best practices in design and heritage conservation. The guidelines are intended to help educate, inform and inspire both public and private invest in the downtown.



Figure 3 Farmer's Market



Figure 2 Town Hall



Figure 1 Bill Groot - Central Core



Figure 4 Jerry Rozek - Central Core Shopfront

1.2 Using the Guidelines

1.2.1 Where the Guidelines Are Applicable

The guidelines apply to the entire downtown of Strathroy as defined and designated in the Official Plan as illustrated in Figure 5.

1.2.2 When the Guidelines Are Used

The guidelines are to be used when new development, redevelopment or renovations are proposed in the downtown, and when the Municipality is considering the renewal or replacement of infrastructure and public spaces. The guidelines will most commonly be used by municipal staff to evaluate applications for site plan approval under the Planning Act. To a lesser extent, the guidelines may also be relied upon when considering applications for land division, official plan amendments, zoning by-law amendments, and minor variances. Additionally, the guidelines will be used by municipal staff to evaluate application for grants under the Municipality's Community Improvement Plan.

Property owners can also use the guidelines when considering renovations to their buildings in the downtown to help guide their decision-making about restoration techniques, the choice of materials, signage, and lighting.

1.2.3 How to Use the Guidelines

The guidelines should be read in their entirety including the guiding principles, in order that the reader understand the full scope of the document and the instances in which individual guidelines may apply to their situation.

The guidelines identify and provide direction on matters related to the scale, massing, articulation, and building materials of the downtown's built form (i.e. buildings and properties) and the public realm (i.e. the streetscape and public spaces). Particular direction is provided to the preservation and enhancement of the heritage character of the downtown.

The guidelines provide examples of how the direction found in this document can be applied and represent best practices in urban design and heritage conservation. Like all best practices, urban design and heritage conservation are constantly evolving and innovating, and nothing in this document is intended to exclude the use of new and innovative approaches to building, planning, and design so long as they respect the guiding principles established in the guidelines.



Figure 5 Subject Area



Figure 6 Jerry Rozek - Central Core Shopfront

1.3 Guiding Principles

There are many wide ranging and important elements which need to be addressed when new development, redevelopment and renovation are proposed in the downtown as well as different considerations for the built form and public realm. In establishing guidelines for urban design in the downtown there are several guiding principles which run throughout this document. While development and redevelopment might not in all cases comply with the exact details contained in the guidelines, they should always respect and demonstrate their consistency with the guiding principles of this document. The following guiding principles have been established for the creation of the urban design guidelines and their implementation:



Human Scale

The downtown will be designed at a human scale. Buildings will demonstrate appropriate scale and integrate design elements to provide a sense of enclosure, continuity, comfort, and safety. Buildings and public spaces which are small in scale, or are designed to appear small in scale, and frame the street and public spaces are primary to achieving this.



High Quality Development

The downtown will be a place that fosters high-quality development designed to leave a positive legacy in the community. Development will be architecturally-interesting and use durable, permanent, and timeless materials that acknowledge and reflect the architectural character and traditions of the downtown. Environmental sustainability is also a hallmark of high quality development.



Prioritising People

The downtown will be a place that prioritises people by ensuring that development is pedestrian and cyclist friendly. The downtown will be a place that is easily and safely accessed and navigated by pedestrians and cyclists in a comfortable and aesthetically pleasing setting. Vehicular access, parking, and loading will not dominate, and a pedestrian-oriented urban fabric will be created and restored.



Conserving & Respecting Heritage

Development, redevelopment, and renovations in the downtown will use best practices to conserve historic buildings in the downtown regardless of whether they are designated under the Ontario Heritage Act. New buildings will respect traditional building forms, materials, and methods by incorporating them into their design and through the use of transitional elements between the new and old.



Celebrating the Public Realm

The public realm composed of streets, sidewalks, parks, and other public spaces will be designed and constructed to high standards. It will integrate public art and culture and will be designed in a flexible manner to maximise its use and functions.



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2.0 Downtown Structure & Form

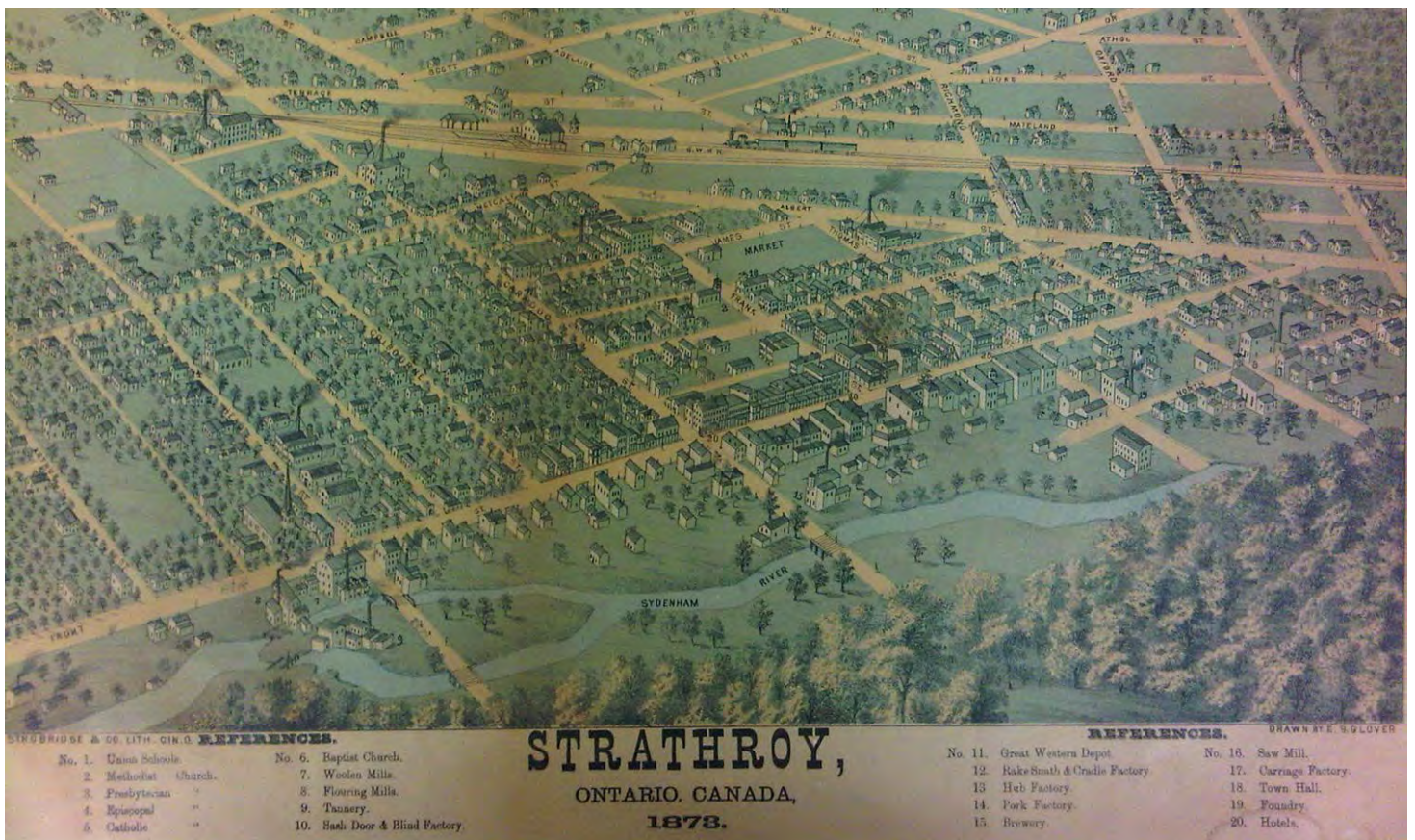
This section describes and characterises the urban structure and built form found in Downtown Strathroy and is intended to provide context to the built form and public realm guidelines in the following sections. Greater detail on the historical development and context of the downtown, can be found in Strathroy Urban Design Guidelines: Background Report. The high-level overview contained in this section also provides direction on the urban design priorities for various areas within the downtown.

2.1 Urban Fabric

The urban fabric of the downtown follows the traditional grid system found throughout 19th century settlements across Ontario while the location of Strathroy at the intersection of three township surveys (Caradoc, Metcalfe, and Adelaide) and the Sydenham River accounts for some of the irregular angles found within the downtown's grid system. The core of the downtown is centred around the intersection of Front and Frank Streets where the block structure is characterised by a grid of wide streets and rectangular urban blocks with long and narrow lots which in some cases fall below 7 metres in width.

Outside the core area, particularly in the area south of Metcalfe and Albert Streets, the urban structure changes significantly. The Canadian National Railway line that traverses the downtown significantly disrupts the grid system. This area also historically housed many of the community's industrial operations and as such the lotting pattern is much larger.

Another major defining feature of the downtown's urban structure is the Sydenham River which runs east-west at the northern periphery of the downtown. As with many rivers running through 19th century Ontario settlements, they were thought of in utilitarian terms, and as such development and the urban fabric turns it's back to the Sydenham. While the designed downtown does not contain any parks in itself, the Sydenham River and the adjacent Alexandra Park to the north provide significant open space and recreational opportunities for the area.



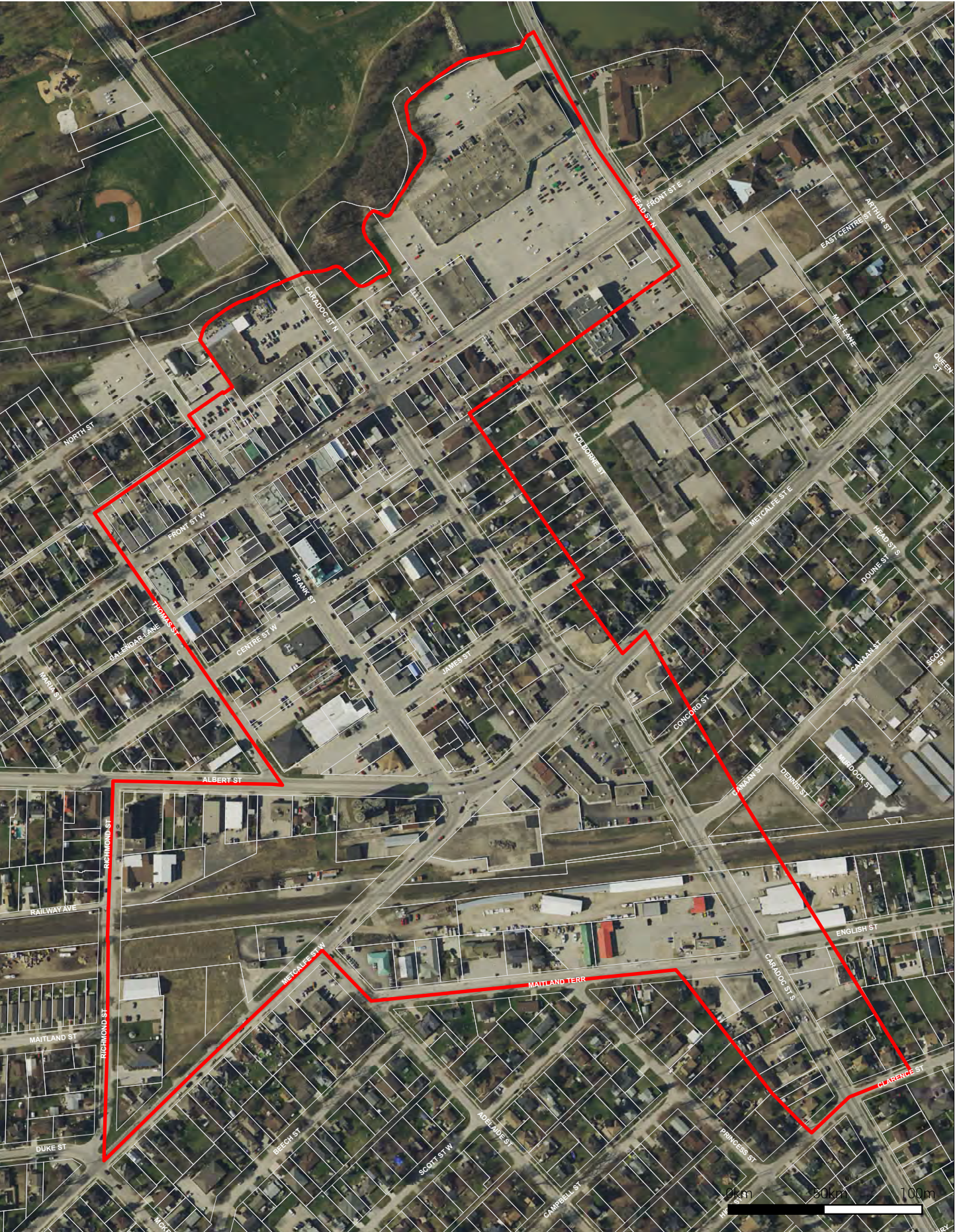


Figure 7 Urban Fabric Map

2.2 Built Form

The built form of the entire downtown is a mix of styles and periods spanning from the 1860s to the present-day. The greatest concentration of historic buildings in the downtown is found around the area of Front Street East and Frank Street where the typical building is a two to three storey Victorian mixed-use commercial building with retail uses on the ground floor and (historically) residential uses in the upper storeys.

These buildings followed a standard development pattern composed of three major elements: a ground floor storefront capped with a sign band; an upper façade composed of the second and third floors; and the entire building capped by a parapet and decorative cornice or in some cases a pitched roof (see figure ##).

Beyond the core area the building form is composed primarily of post-war commercial development characterised by single-use, low densities on large lots with buildings setback from the roadway with intervening surface parking. Two significant pockets of residential development also exist within the downtown. Primarily composed of late 19th century and early 20th century single detached homes on relatively large lots. In many cases these homes have been converted for commercial use.

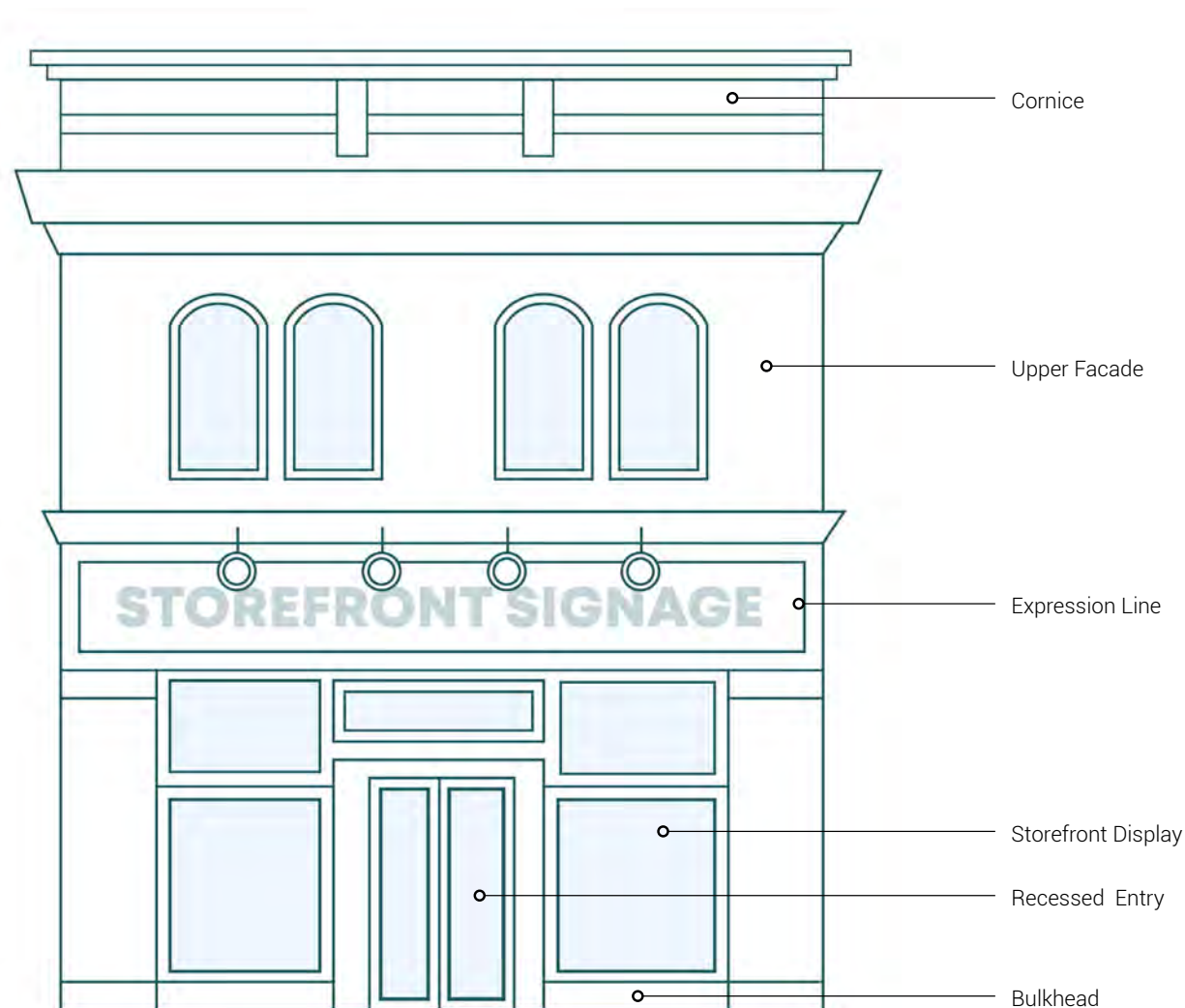


Figure 8 Facade Explanation Diagram

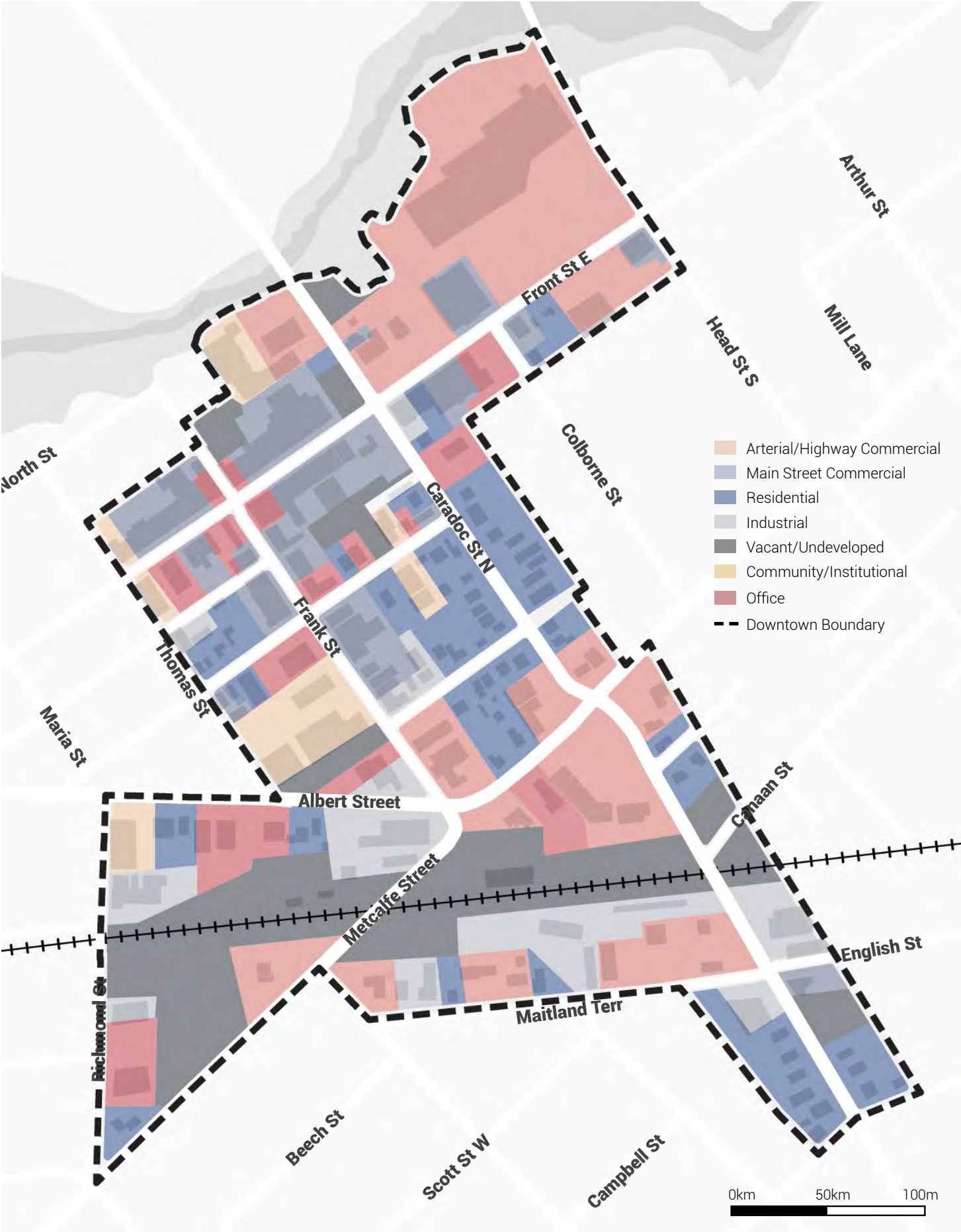


Figure 9 Built Form Map

2.3 Street Network & Mobility

The downtown is well serviced by a traditional hierarchical road system composed of arterial, collector, and local roads, as well as a limited series of rear laneways. Caradoc, Metcalfe, and Albert Streets are designated arterial roads under the jurisdiction of the County of Middlesex, while all other roads are under the jurisdiction of the Municipality. Metcalfe and Albert Streets are three lanes wide (one lane in either direction with a centre turning lane) while all other roads are two lanes-wide.

The vast majority of roads within the downtown contain raised curbs and sidewalks on both sides of the street, with the exception of portions of Caradoc, Metcalfe, Albert, and Richmond Streets, and Metcalfe Terrace. These areas contain low pedestrian amenity lacking, in some cases, sidewalks. In other cases, parking / loading-unloading has been allowed to encroach onto the sidewalks creating an unattractive and potentially unsafe situation for pedestrian users.

The downtown, despite some public perceptions, is very well-served with public and private parking areas as well as on-street parking which is permitted on all local roads. In areas around the intersection of Caradoc and Metcalfe Streets, and along Front Street West parking areas dominate the streetscape. Metcalfe, Albert, and Caradoc Streets are three lanes wide (one lane in either direction with a centre turning lane) while all other roads are two lanes-wide.

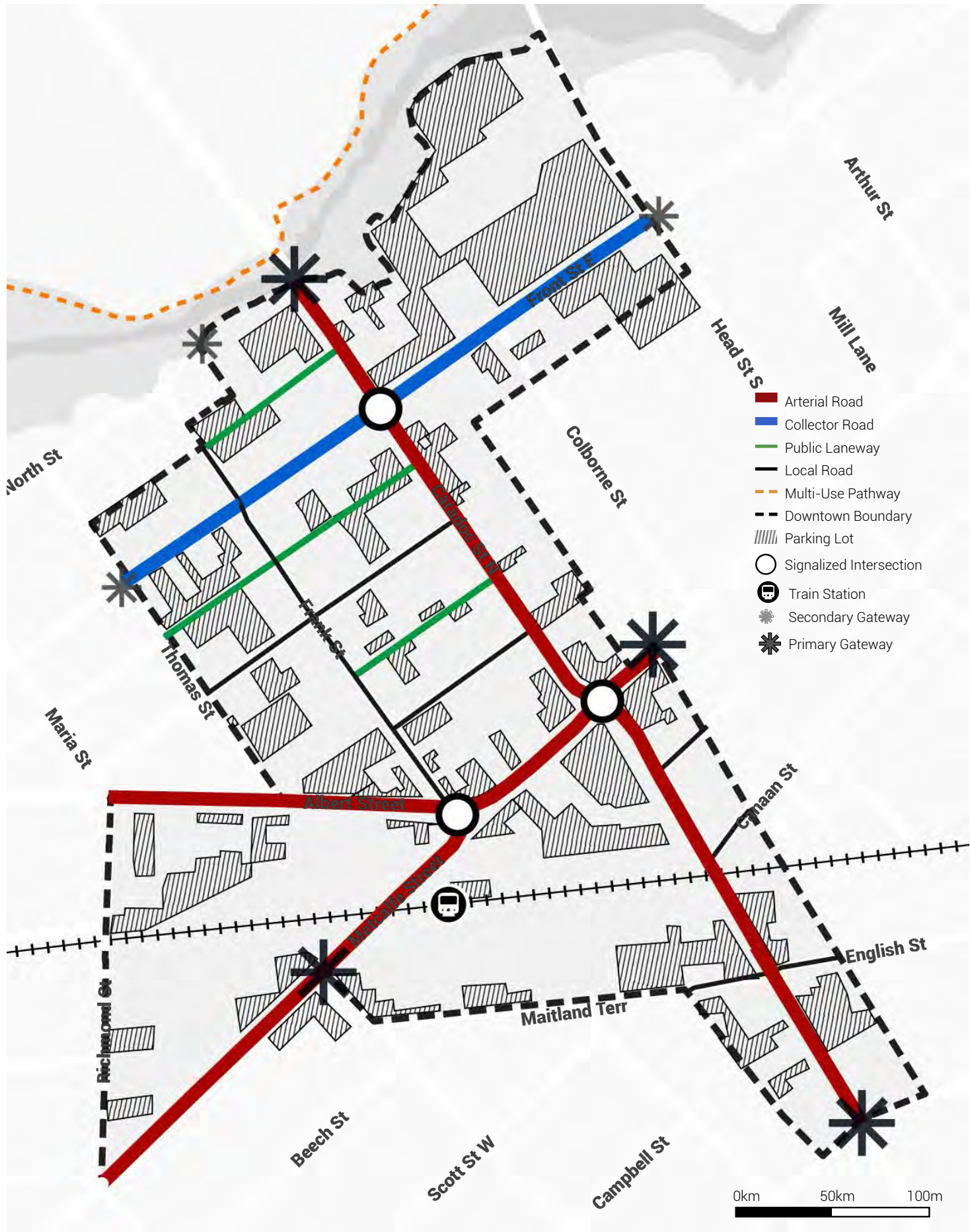


Figure 10 Street Network Map



2.4 Character Areas & Design Priorities

The guidelines recognise that the downtown has a diverse built form and has developed at various paces and time periods, as such the guidelines identify four “character areas” in the downtown. While the guidelines apply to the entire downtown of Strathroy, each of the four character areas have their own unique design priorities and opportunities. This section of the guidelines presents specific considerations for each character area.

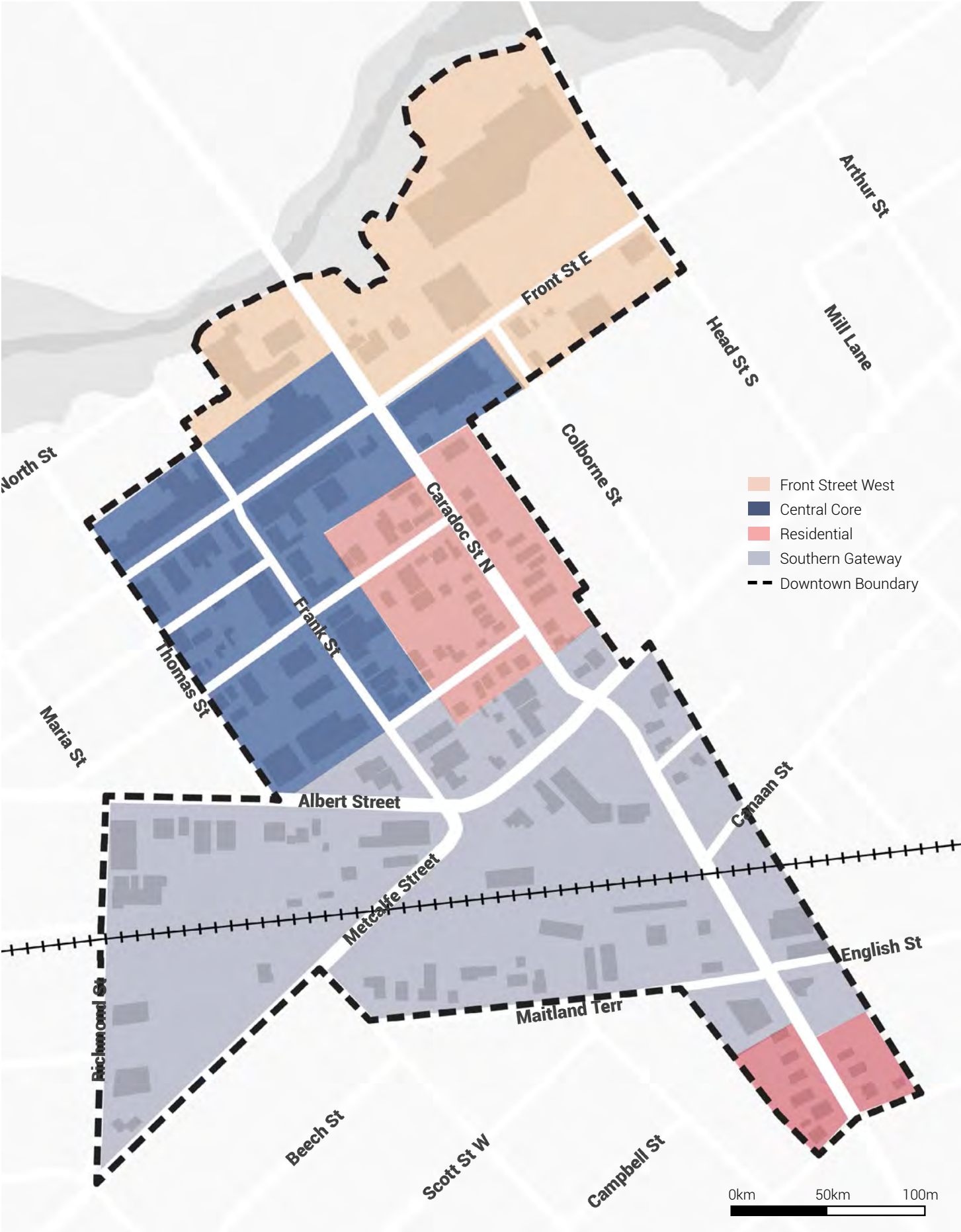


Figure 12 Character Areas Map

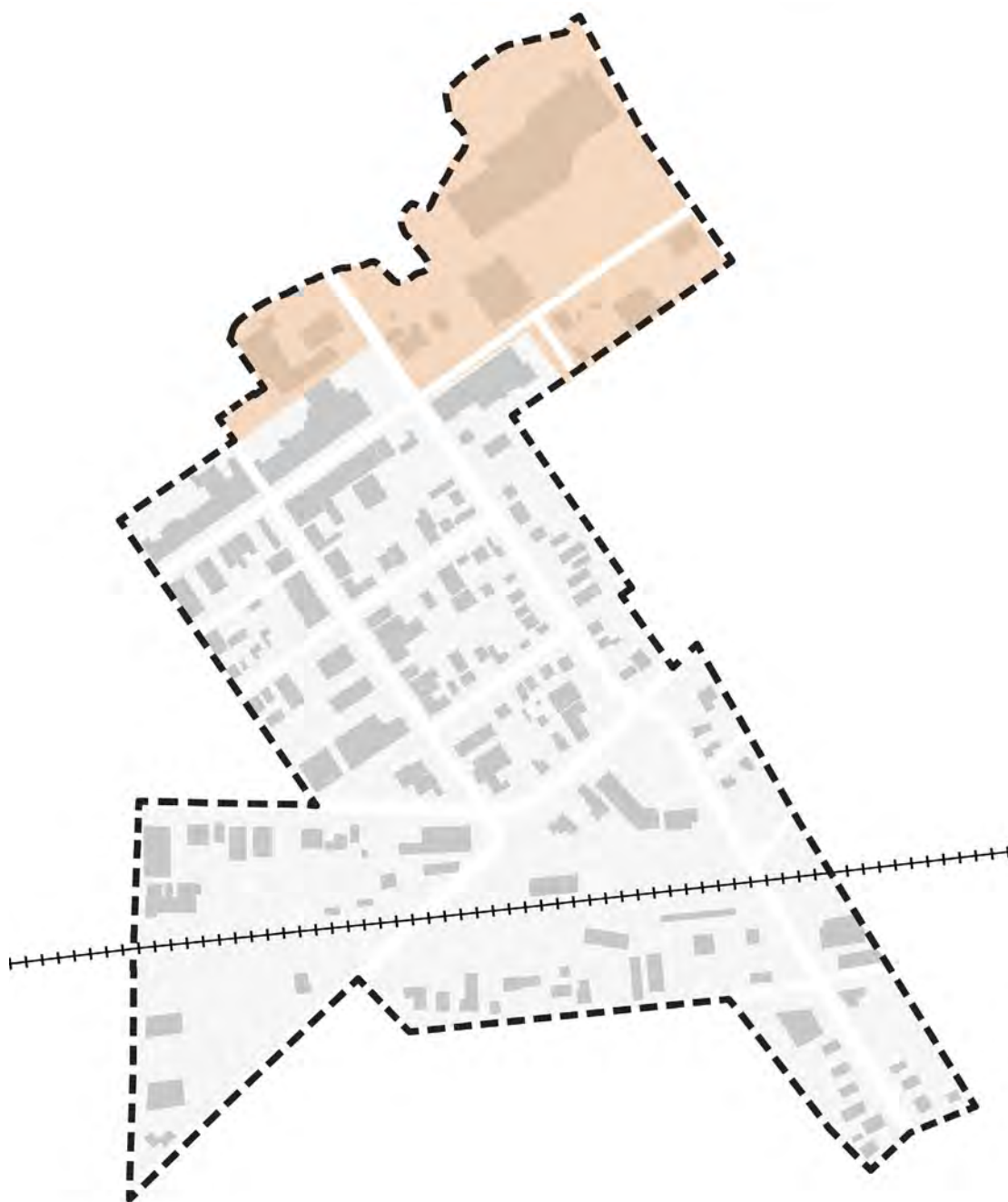


Figure 13 Front Street West Map

2.4.1 Front Street West

The Front Street West Character Area essentially extends along Front Street from Caradoc to Head Streets. While this area is where the settlement of Strathroy began, few historical buildings remain. Prior to the 1960s this area was home to limited development which included a commercial dairy. The area was significantly redeveloped beginning in the 1960s with the construction of modern auto-oriented commercial plazas, the most recent of which was constructed in 2010. Design priorities:

- The urbanisation / reurbanisation of the car oriented commercial developments along Front Street;
- The development of a greater mix of uses and densities, particularly recognising the area's potential to accommodate new residential development; and
- Establishing a new relationship with the Sydenham River and pedestrian promenade along the riverfront.



Figure 14 Front Street West Images

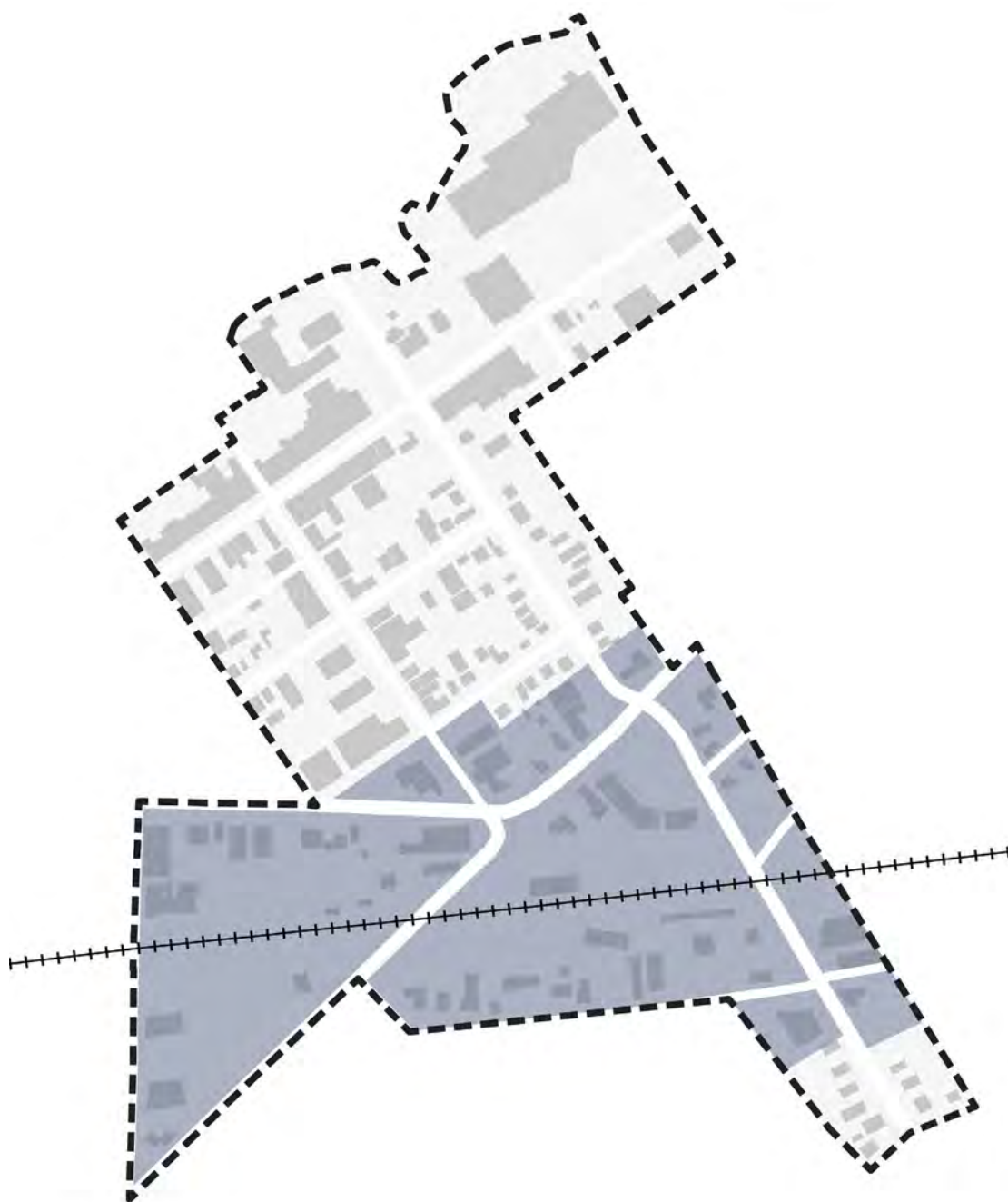


Figure 15 Southern Gateway Map

2.4.2 Southern Gateway

The Southern Gateway Character Area is a large swath of the downtown located along Metcalfe, Albert, and Caradoc Streets generally following the CN rail line. This area housed Strathroy's major industries (gathered along the rail line) during the first half of the 20th Century. Since the 1950s it has been the subject of significant demolition and redevelopment, and includes a number of unoccupied parcels and the remnants of industrial operations. Commercial uses in this area consist of a number of auto-oriented and auto-supported uses such as service stations and garages. Design priorities

- The urbanisation / reurbanisation of the area and the introduction of a greater mix of uses and densities, recognising the limitations caused by the railway line;
- Treating the area's arterial roads as urban boulevards and improving the overall pedestrian amenity, streetscaping, and wayfinding; and,
- Addressing the interface of this area with adjacent residential areas.



Figure 16 Southern Gateway Images

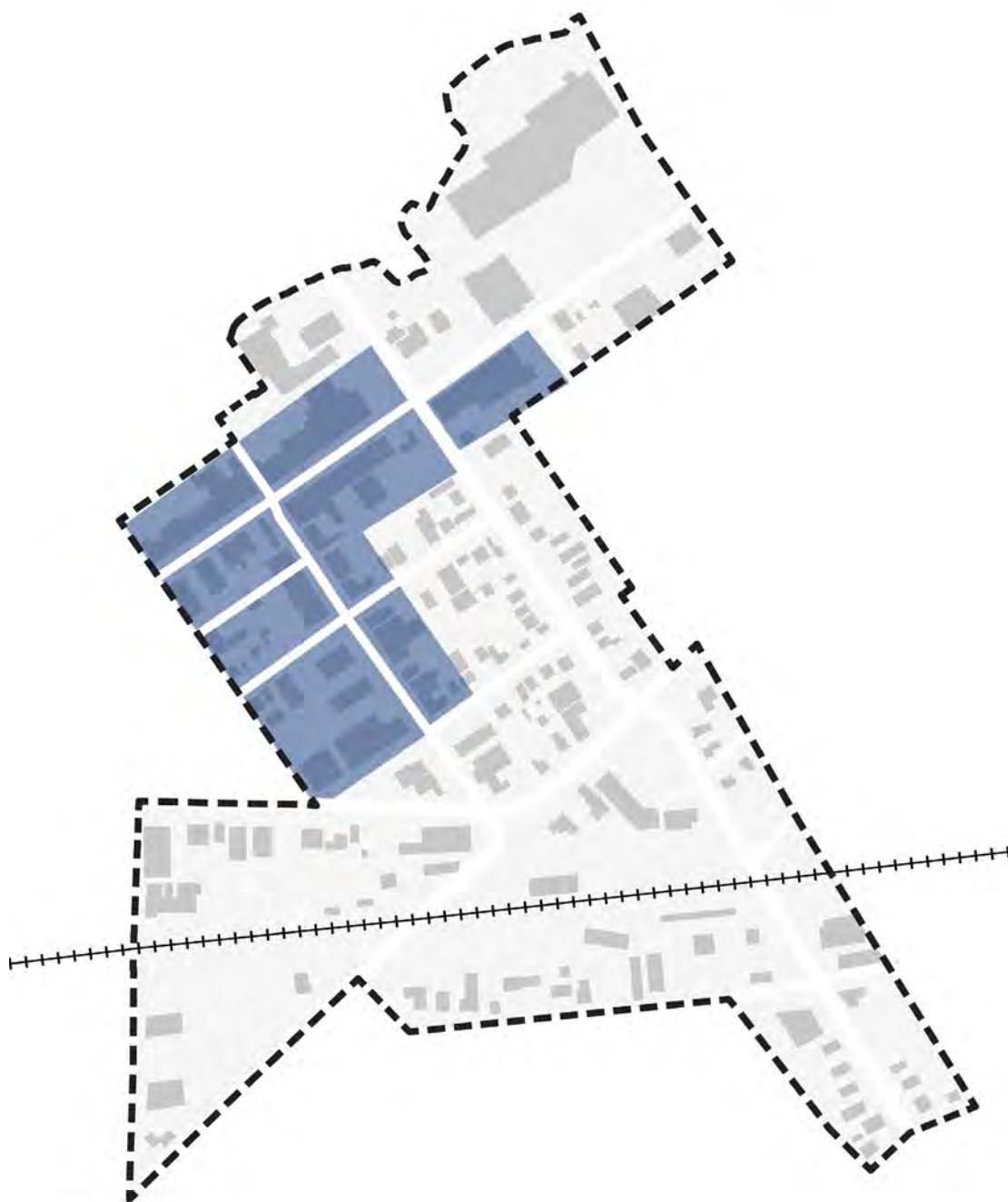


Figure 17 Central Core Map

2.4.3 Central Core

The Central Core Character Area is composed of those parts of the downtown surrounding the intersection of Front and Frank Streets. It is the most intensely developed and compact area of the Downtown and contains the largest collection of historical buildings. It also contains the majority of landmark buildings found in the Downtown. Design Priorities:

- Retaining and reinforcing the traditional street wall, building forms, and architectural character;
- Conserving and restoring historical / heritage buildings, regardless of whether they are designated under the Ontario Heritage Act; and,
- Developing new public squares and spaces to support the downtown as a central gathering place for the community.



Figure 18 Central Core Images

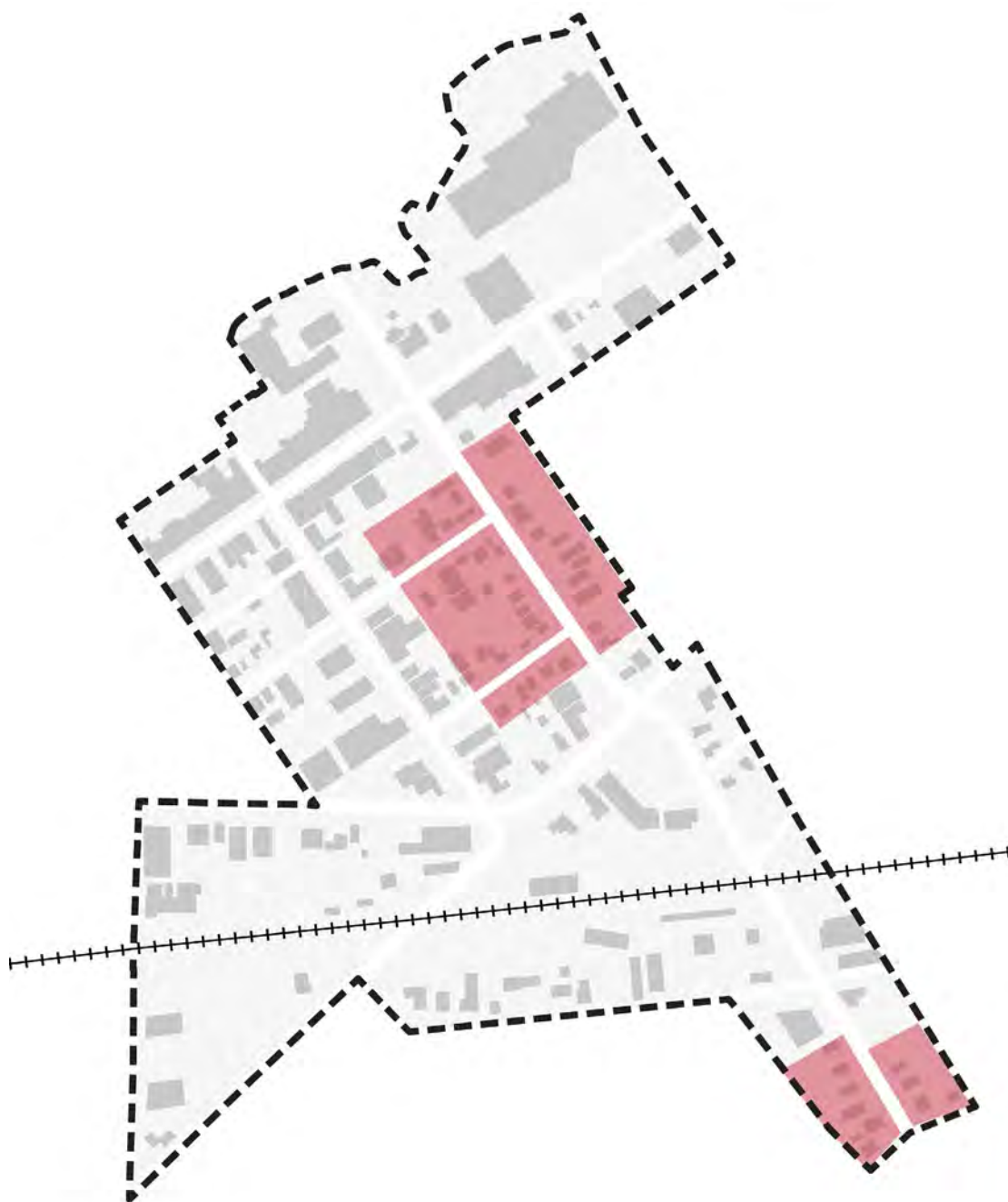


Figure 19 Downtown Residential Map

2.4.4 Downtown Residential

The Downtown Residential Character Areas are composed of two smaller areas of purpose-built residential buildings primarily dating from the 19th and early 20th centuries. Particularly along Caradoc Street, many of these residences have been converted into office space, medical clinics, and other similar uses, while many remain private residences. Despite the many conversions of use, the character of these areas remains distinctly residential. Design priorities:

- Preserving the distinctly residential character of these areas and supporting the residential use of these areas;
- Allowing for the accommodation of commercial uses while preserving the residential character; and,
- Recognizing the areas ability to support the establishment of higher density residential uses.



Figure 20 Downtown Residential Images

2.5 Assets + Opportunities

Downtown Strathroy has a base of physical assets and opportunities that the guidelines are intended to promote, celebrate, and take advantage. The following summarises three of the major assets / opportunities in the downtown

Assets + Opportunities

Downtown Strathroy has a base of physical assets and opportunities that the guidelines are intended to promote, celebrate, and take advantage. The following summarises three of the major assets / opportunities in the downtown.

Walkable & Human Scale Form

Particularly within the Core Area of the downtown, the area is characterised by a walkable and human-scale built form. Along Front and Frank Streets significant investments in public infrastructure have been made in the past to enhance the walkability and pedestrian-friendly nature of the downtown. This character is a key component of what separates the downtown from other commercial areas of the Municipality. This character also supports key environmental and public health objectives. Opportunities to build-upon and expand this character and urban form to other areas of the downtown should be taken.

Built Heritage

Downtown Strathroy has a wealth of built heritage buildings, both designated and undesignated, including a number of landmark buildings which are important defining elements of both the downtown and the Municipality as a whole. The downtown's built heritage serves an important role in identifying the architectural traditions of the downtown and establishing the unique character of Strathroy. The downtown's built heritage is an asset to be capitalised on. Capitalising on this involves a combination of conservation efforts for existing buildings and using this built form as a starting point for discussions around the character of future / new development.

The Sydenham River

The Sydenham River is the defining environmental feature of the downtown. It is an important part of the community's heritage, as the location of the initial settlement and its mature natural beauty adds an important aesthetic element to the downtown, as well as serving as a gateway, recreational opportunity, and gathering place in the downtown. The existing relationship between the Sydenham River and the downtown should be redefined to take better advantage of this important feature and to introduce new development that respects and celebrates the relationship with the River.



Figure 23 Built Heritage



Figure 22 Walkable Downtown



Figure 21 Sydenham River



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3.0 Built Form Guidelines

The following section outlines the urban design guidelines for the built form of the downtown (i.e. buildings, structures, and private property). This section outlines the guidelines for how development, redevelopment, and renovations are to occur with special attention paid to the incorporation of sustainability features and the conservation and restoration of heritage buildings.

3.1 Building Form + Site Configuration

3.1.1 General Guidelines

In areas where redevelopment and re-urbanization are encouraged, new development should support the creation of a street wall that frames streets and public spaces. Large front and side yards are to be avoided.

In all other cases new development should reflect and support the retention of the spatial arrangement of the existing street wall height through building height or step-backs.

Ground floor spaces should be designed to be flexible spaces to accommodate a combination of retail, restaurants, and office space. Upper stories should ideally incorporate residential uses but may also incorporate commercial uses.

3.1.2 Frontage & Setbacks

Buildings should be constructed to the front lot line or setback 1 to 2 metres if a wider sidewalk and boulevard is desirable, which may be particularly warranted on arterial roads.

Buildings should be oriented and positioned to frame the street and internal driveways to assist in creating active pedestrian environments.

In the case of corner buildings, the building should frame both streets and respect the setback / alignment of buildings on both streets. Commercial uses on the ground floor should wrap around the corner to provide a continuous store frontage.

3.1.3 Heights & Massing

Buildings should be between two and three storeys in height. Where buildings are proposed above three storeys, a step-back of a minimum of 1.5 metres should be incorporated to visually minimize their perception by pedestrians at street level.

One storey buildings are discouraged. Where proposed, the building should incorporate additional height or rooflines to raise the building height upwards of two stories.

Buildings should have a minimum ground floor height of 4.5 metres, measured from grade. Common height lines of adjacent structures should be respected so that new construction can blend within the existing streetscape.

Monolithic buildings should be avoided. Ideally individual façades should be between 6 and 8 metres wide, with a maximum width of 15 metres. Buildings exceeding this should incorporate vertical elements such as changes in materials, building projections, columns or other vertical architectural elements to reduce the perceived scale of the building.

3.1.4 Pedestrian Access

Buildings shall be directly accessible from the street and barrier-free access from the building entrance to the public sidewalk shall be provided.

Articulated and safe pedestrian access shall also be provided on-site to parking areas. Where a building abuts public space such as parkland, pedestrian access and linkages should be provided.

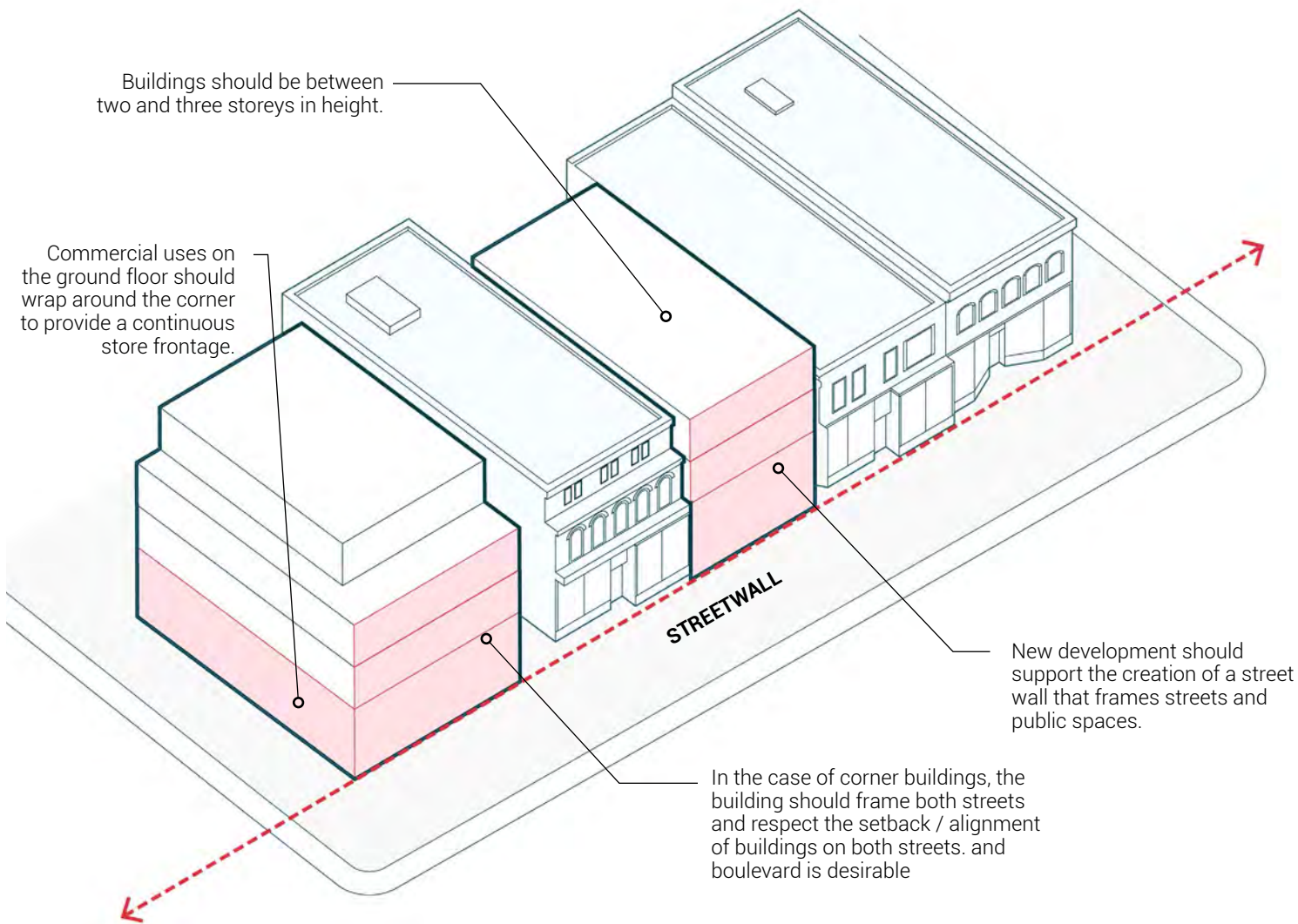


Figure 25 Street Wall Diagram

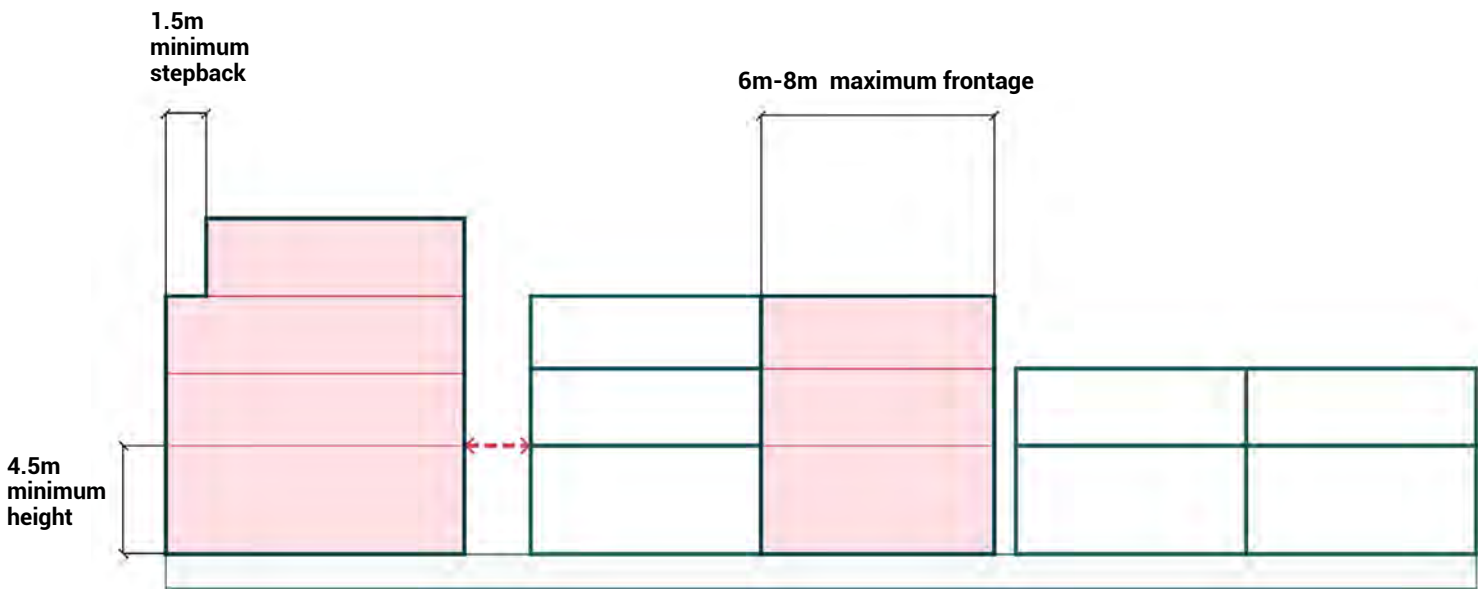


Figure 24 Street Wall Section

3.1.5 Transitions to Residential Areas

Buildings and new development that are adjacent to, or front onto, residential areas should incorporate transitional elements into the built form such as a reduction in height or a change in roofline to provide a gentle transition into these areas.

While otherwise discouraged, landscaped areas or yards may also assist in providing a gentle transition to adjacent residential areas.



Figure 26 Residential Transition Example 1

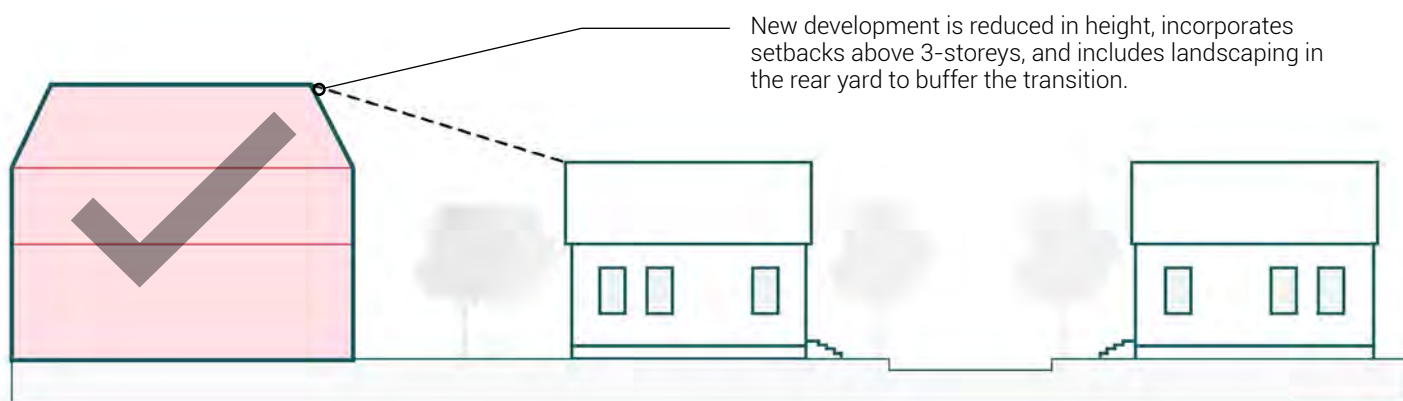


Figure 27 Residential Transition Example 2

3.1.6 Landscaping

Where yards or open space between buildings does, or will, exist it should be heavily landscaped at the street edge and through parking areas. Pedestrian amenities, including walkways that connect entries, seating and human scaled lighting should also be provided.

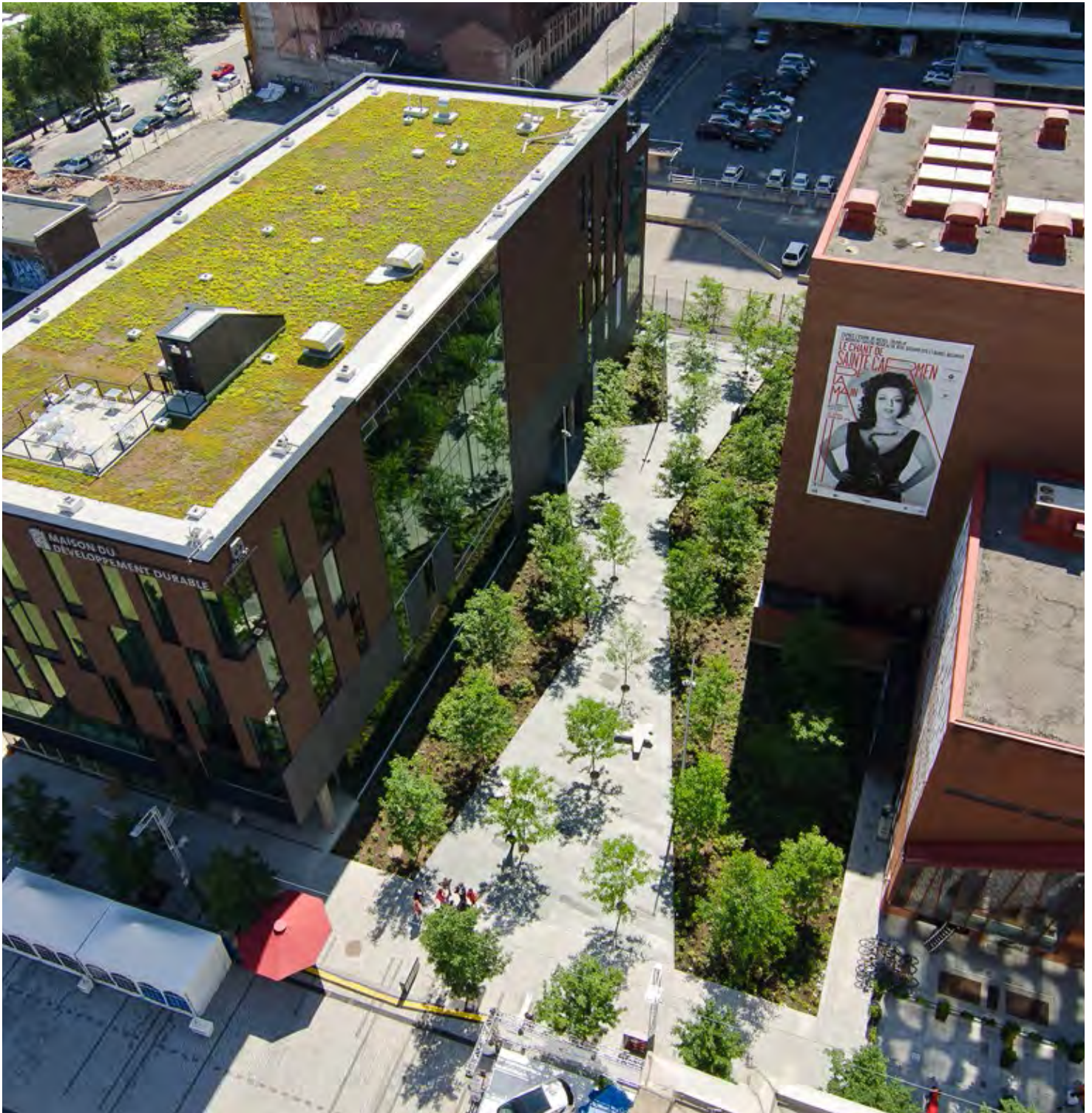


Figure 28 Parc Hydro Quebec

3.2 Architecture Detailing + Character

3.2.1 General Guidelines

New infill development adjacent to historic development should integrate into its location with compatible proportions, replication of rhythms of vertical and horizontal lines, and similar use materials and colours.

New development not adjacent to historic development should be respectful of its broader architectural context including local heritage and architectural traditions (i.e. use of building materials and methods), while representing contemporary architectural practice and styles.

Corporate-style or branded architecture and prefabricated buildings are strongly discouraged. Corporate branding should be restricted to signage and new franchises should follow the guidelines for new buildings.



Figure 29 Architecture Detailing Examples

3.2.2 Façades

All façades facing a public street should have a high degree of articulation. Blank façades should be avoided. Façades should be designed with a variety of architectural elements including wall planes and rooflines, human scale proportions, large windows ,and porches / entryways.

New construction should respect the architectural traditions of first floor base lines, large storefront windows, recessed entries, and vertical window orientation on the second and third stories.

Glass should be the dominant ground floor material on façades facing a public street. Approximately 75% of the

3.2.3 Awnings & Canopies

Awnings, canopies, and covered walkways or porticoes, are recommended to help protect pedestrians from inclement weather and add visual interest and articulation to buildings.

Lighting and landscape elements should be incorporated into the design of these elements to promote their use and safety.

To ensure access for maintenance vehicles, awnings and canopies extending over the public right of way should have a minimum clearance of 2.7 metres.

3.2.4 Lighting

Lighting should be chosen to ensure that the design, location, intensity and emitted colour are appropriate to permit safe access to the building and clear visibility of signage only.

Lighting should be low light, LED lighting that illuminates only the sign band and building entrances. Excessive illumination of buildings and signage should be avoided. Roof lighting, down-lighting, washing the building walls and illuminated awnings are strongly discouraged.



Figure 30 Lighting and Signage Examples

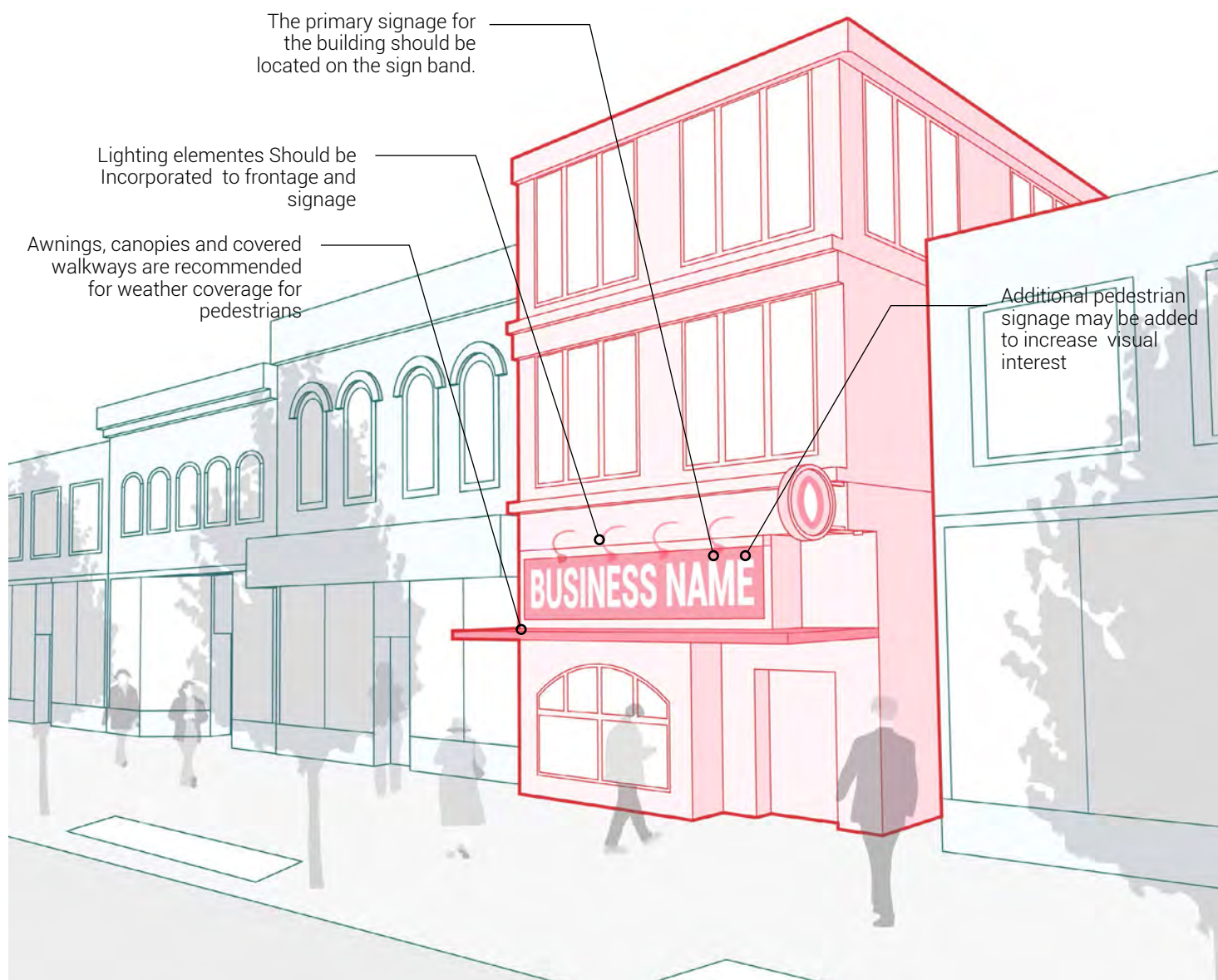


Figure 31 Signage and Lighting Diagram

3.2.5 Signage

Signage should present a simple and legible message only (i.e. business name and by-line of the type of business activities). It should be designed at a pedestrian scale and orientation on local streets (a lower level legible by pedestrians). Signage may include a vehicular orientation on arterial streets (higher level legible by passing traffic).

The primary signage for the building should be located on the sign band. The text font should be easily legible, non-reflective, and of a strong contrasting colour to the background.

Signage that should not be used include: roof signs, signage with removable lettering, pylon signs, billboards, inflatable signs, handwritten signs, digital, electronic, animated, neon or otherwise backlit signs, and moveable or temporary signs. Notwithstanding the above, secondary signs such as sandwich boards can add life to the street, but they should not impede pedestrians. Postering of windows is strongly discouraged for both safety and aesthetic reasons.

3.2.6 Exterior Finishes & Materials

Building materials should be durable and convey a sense of permanence. Materials should also be selected for their compatibility with surrounding buildings. Local traditional building materials, such as yellow and red brick, are encouraged.

Building materials that are temporary, lower quality, or with no local tradition should not be used, these include stucco, vinyl and metal siding, corrugated sheet metal, plastic, pre-fabricated panelling, plywood, concrete block, and darkly tinted or mirrored glass.

3.2.7 Use of Colour

A variety of complementary materials and colours should be used on the same block frontage to avoid monotonous blocks.

Colour use should complement colour palettes from adjacent buildings and public spaces.

Vibrant colour accents can create visual interest and are preferably used on architectural features such as the frames of windows, signage, and doors, as well as shutters, cornices, and other mouldings.



Figure 32 Finishes, Materials and Colouring Examples

3.3 Heritage Character Buildings

3.3.1 General Guidelines

Maintenance, repair and restoration work shall be undertaken using proper heritage conservation methods such as those established in the Standards and Guidelines for the Conservation of Historic Places in Canada.

Repair and renovations should restore original features before replacement is considered. Restoration should be based on historical research including documentation, photographs, plans, and site inspections.

Nothing in the guidelines is intended to prohibit the creation of a modern storefront consistent with a business' image, except in the case where heritage store frontages exist.

3.3.2 Conservation & Restoration of Heritage Buildings

Architectural details including ornate stonework, terracotta, brickwork and cornicing should be always be retained, restored, or replicated. In no cases should it be removed.

Cleaning of buildings should occur in a non-destructive manner. Sand blasting and high-pressure water blasting and acid washes should not be used.

Removal of paint from brick and stonework to restore the original building finish is preferred over repainting. Should repainting be considered, it should be undertaken using paint that will not compromise the ability of the brick and mortar to expel moisture.

Brick and masonry repair should be undertaken using proper heritage materials and methods. Old mortar should only be removed used hand tools and an appropriate lime formula should be used with mortar mixes to match the original colour, sand and density. Inappropriate mortar mixes (i.e. denser than the brick) will cause damage to the brick.

Spalled brick and stonework (i.e. water damaged) should be repaired to protect the integrity of the building. Epoxy-based fillers can be used for smaller instances of spalling while, brick / stone replacement may be required for more extensive damage.



Figure 33 Restoration of Heritage Buildings



3.3.3 Building Materials

Original materials such as wood, stone, and metalwork should only be replaced with the same material.

Original windows and doors should be repaired and retained where possible. Proper installation of astragals, caulking, and weather stripping can ensure good thermal performance. If it is necessary to replace original windows and doors, the replacement should replicate the existing configuration.

The downtown's heritage building façades are mostly brick. Any repairs or renovations to historic buildings should the same materials. In no cases should original façades be replaced, resurfaced, or covered with stucco, cladding, or other undesirable materials noted in previous sections of this document.

Cornices and parapets should be repaired and replaced to their original configuration. Aluminium and fibreglass replications are discouraged.

Visible roofing materials such as copper, slate, or galvanized steel should be replaced with similar materials. If the roof is not visible, modern materials installed to prevent water damage are acceptable.

3.3.4 Use of Colour

Colour schemes for heritage buildings should reflect heritage colour palettes. The use of commercially available heritage colour palettes is encouraged.



Figure 34 Restoration of Heritage Buildings

3.3.5 Additions & Extensions

Additions in height to heritage buildings should be limited to two storeys and should be step-back a minimum of 3 metres from the façade.

In the case of additions at ground level, additions should always follow the principle of being differentiated, subordinate, and compatible with the massing, size, scale, and architectural features of the historic building.

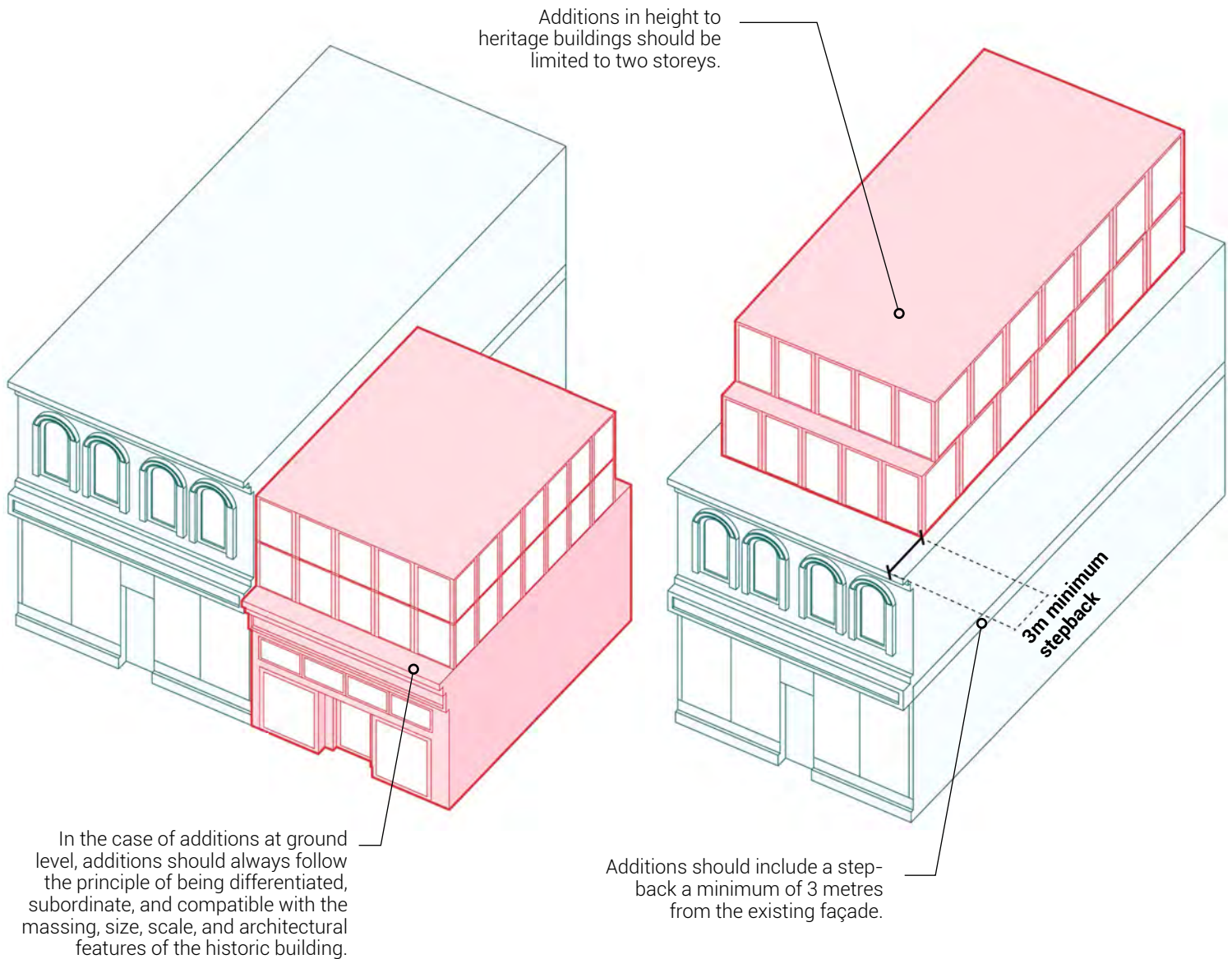


Figure 35 Heritage Addition and Extensions Diagram

3.4 Sustainable Development

3.4.1 Building Technology

Green building technologies and materials are strongly encouraged in new construction, particularly those constructed to recognized standards (i.e. LEED).

Green roofs or reflective roof surface materials are encouraged to avoid heat island effects.

Water catchment and filtration in buildings and landscape elements are encouraged to improve stormwater collection.

3.4.2 Site Design

New developments should be sited to minimize the destruction of existing vegetation. All healthy existing trees with diameters in excess of 150mm above grade should be incorporated into the development where possible.

Site development should take into account existing topography and minimize grading where possible.

Shade trees and coniferous shrubs should be provided to adjacent sidewalks, pedestrian walkways and throughout parking areas.

Site design should minimize surfaces which are impervious. The use porous pavement and landscaped areas to decrease water runoff should be examined and are encouraged where appropriate.



Figure 36 Sustainable Development Examples

3.5 Parking, Loading + Utilities

3.5.1 Utility Areas & Mechanical Equipment

Service bays, utilities, outside storage, rooftop mechanical and telecommunications equipment should be visually and acoustically screened from public view.

Garbage and recycling bins should be stored internally wherever possible. Any exterior garbage and recycling should be located in the rear or side of the building contained within a garbage enclosure, screened from public view.

3.5.2 Parking Areas Location & Access

Parking areas should always be located at the rear of a site to preserve a continuous street frontage and street wall. If this is not possible, side yard locations that still permit the building to abut the street are preferred. In no circumstances should parking be located between the building frontage and the street frontage.

Where parking areas abut a public street they should be screened from view with solid landscaping (i.e. hedgerows).

The number of vehicle access points should be held to the minimum number and size required for safe access and circulation and should be shared where possible to minimize the number of curb cuts required. Where possible, access to parking areas from rear lanes is preferred.

Where parking areas are provided, direct, barrier-free pedestrian access and circulation routes in parking areas that provide safe access to the public street and / or building should be provided.

Place bicycle parking facilities in highly visible areas close to building entrances, and major public spaces. Larger developments should include on-site bicycle parking which should be placed in a highly visible location near the main entrance of the building.

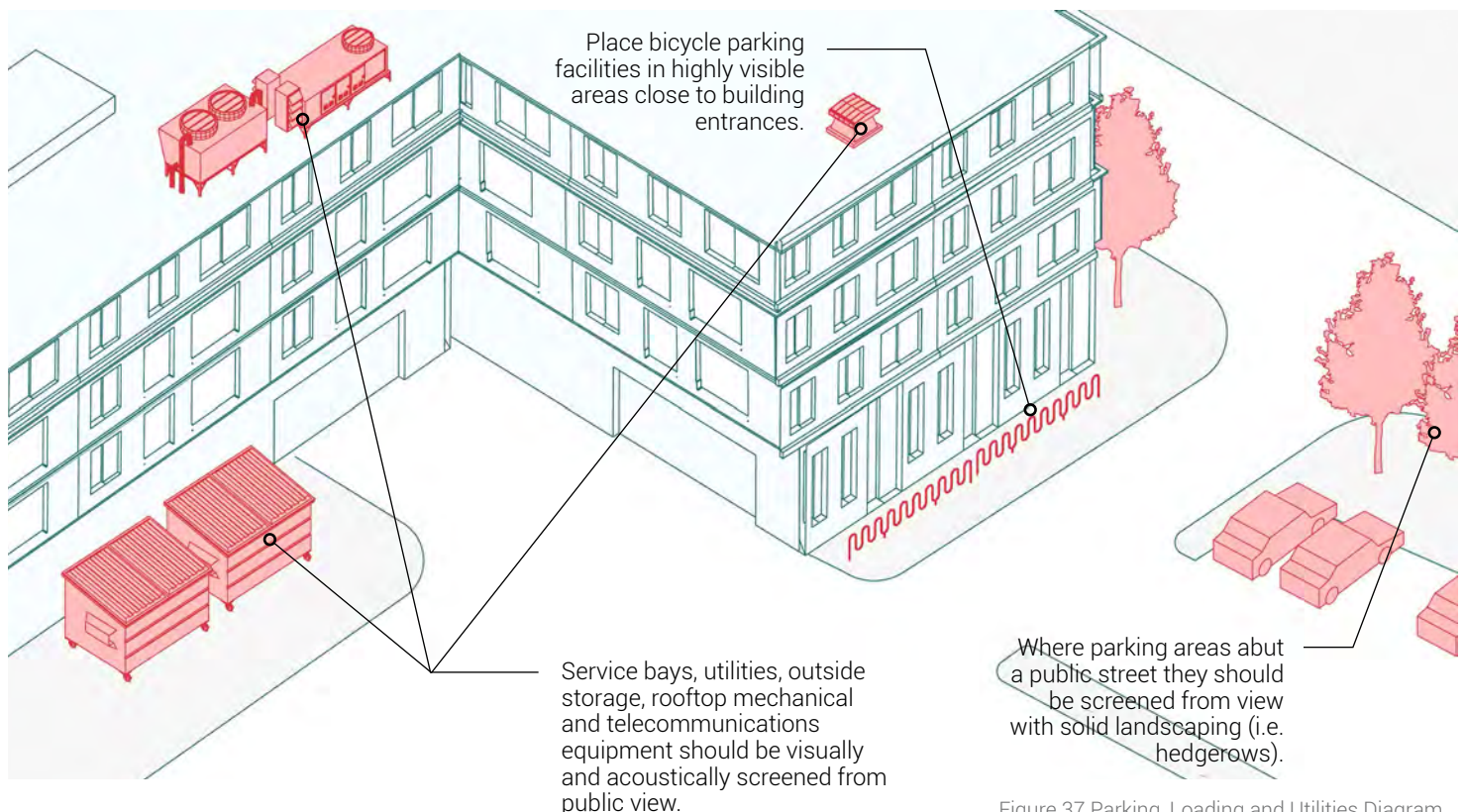


Figure 37 Parking, Loading and Utilities Diagram

3.6 Residential Development + Areas

3.6.1 General Guidelines

If permitted, primarily residential development should be directed to areas fronting onto residential areas, while commercial uses should be dominate in all other areas.

The Downtown contains two pockets of residential typologies used for both residential and commercial purposes. Notwithstanding the other guidelines in this document, specific guidelines are appropriate for commercial development in these areas.

High density residential development (i.e. residential development above six storeys) is not addressed in these guidelines. If proposed, an analysis of urban design impacts on the downtown and individual urban design guidelines for the development should be created.

3.6.2 Low Density Residential Development

Where permitted, the guidelines are generally not applicable to low density residential development (i.e. single and semi-detached dwellings).

Notwithstanding the above, new low density residential development should respect the traditional built residential form found in the downtown and surrounding area including a one to two storeys in height, setback proportionally on the lot, incorporation of a front porch, with driveways and garages accommodated at the side and rear of the lot.

3.6.3 Medium Density Residential Development

Medium density residential development (i.e. residential densities higher than a semi-detached dwelling up to an apartment building of six storeys) should be designed at a human scale reinforced through appropriate building height, massing and architectural design as noted in previous sections of this document.

The incorporation of some commercial uses at street level is strongly encouraged, particularly at street corners and the edges of buildings.



Figure 38 Low-Rise Infill Housing

Alternatively, common / recreational rooms are encouraged to be located at street-level. The ground floor treatment for these uses should provide windows that occupy at least 50% of the façade.

Driveways (common or individual) and all surface parking should be located at the rear of any buildings or complexes. Parking within a structure should be screened from view at sidewalk level.

Only street level units should have separate entries, all other units should share a single entrance and lobby. The main building entrance should be located fronting directly onto the street.

It may be appropriate to incorporate transitions from the public to the private realm for new residential development (i.e. landscaped open space).

3.6.4 Commercial Development in Residential Areas

Notwithstanding previous sections of this document, commercial development and uses in residential character areas should be designed and sited to integrate into these areas. This is achieved through the development / maintenance of the areas' residential building typologies and their massing and height. The siting of buildings should respect the established building lines of the street.

Signage should generally not be attached to residential typologies. It should be small in size, minimally illuminated, and located in the front yard / garden of a property. When attached to a building it should be discretely incorporated into a front porch of a building.

Parking areas should always be located in the rear of the property in order to preserve the front yard / garden with a single driveway (if necessary) connecting to the street. Sole access from a rear lane is preferred.

Nothing in this section is intended to prohibit the conversion of these residential areas to higher densities or more urban form subject to the appropriate incorporation of transitions as noted previously.



Figure 39 Mid-Rise Residential and Commercial Development



4.0 Public Realm Guidelines

The following section outlines the urban design guidelines for the public realm of the downtown (i.e. streets, sidewalks, public spaces, and parks). This section outlines the guidelines for how infrastructure replacement and renewal is to occur in a manner that increases the public realm's flexibility, functionality, aesthetic appearance, and accessibility and safety.

4.1 Streetscape

4.1.1 Sidewalks

Within the downtown sidewalks should be located on both sides of the street to facilitate pedestrian travel and access. Where possible sidewalks should be 4 to 5 metres wide in order to accommodate and boulevard trees and plantings. The travelled portion of the sidewalk should have a minimum 3 metre width.

Sidewalks should either be broom-finished concrete or patterned stamped concrete. If pavers are preferred, they should be large permeable concrete pavers installed on a strong base with good drainage. In all cases, barrier-free access and ease of maintenance / replacement should be primary considerations. Sidewalk finishes should be continuous across driveways and parking accesses. Sidewalk edges and curbs should be graded and scored to provide barrier-free access.

On arterial roads sidewalks should be lined with a landscaped strip of 1 to 2 metres. These areas are intended to protect and direct pedestrians and should be protected from vehicle traffic and snow clearance activities.

4.1.2 The Roadway

Within the downtown roadway lanes should be kept to the minimum width possible in order to maximise the use of the road allowance for sidewalks and landscaping, and to reduce traffic speeds.

Bump-out curbing and articulated or concrete walkways should be examined for incorporation at major intersections to improve pedestrian experience and safety, and to reduce traffic speeds.

Along long undivided stretches of road, particularly arterial roads, pedestrian walkways are encouraged to increase pedestrian accessibility.

Street lighting and standards along local and collector streets should be at a pedestrian scale. Along arterial streets both pedestrian scale and vehicular scale lighting should be provided. Decorative lighting of street trees and across street in the core area can help animate the evening and can assist in providing a sense of enclosure along the street.

Bike lanes assist in providing active transportation opportunities and should be considered for incorporation in the downtown in conjunction with the development cycling network in the Municipality.

A detailed road standard should be developed for Caradoc, Metcalfe, and Albert Streets. As arterial roads and major gateways, these streets should be developed as urban boulevards with coordinated light standards, pavement treatment, and landscaping.

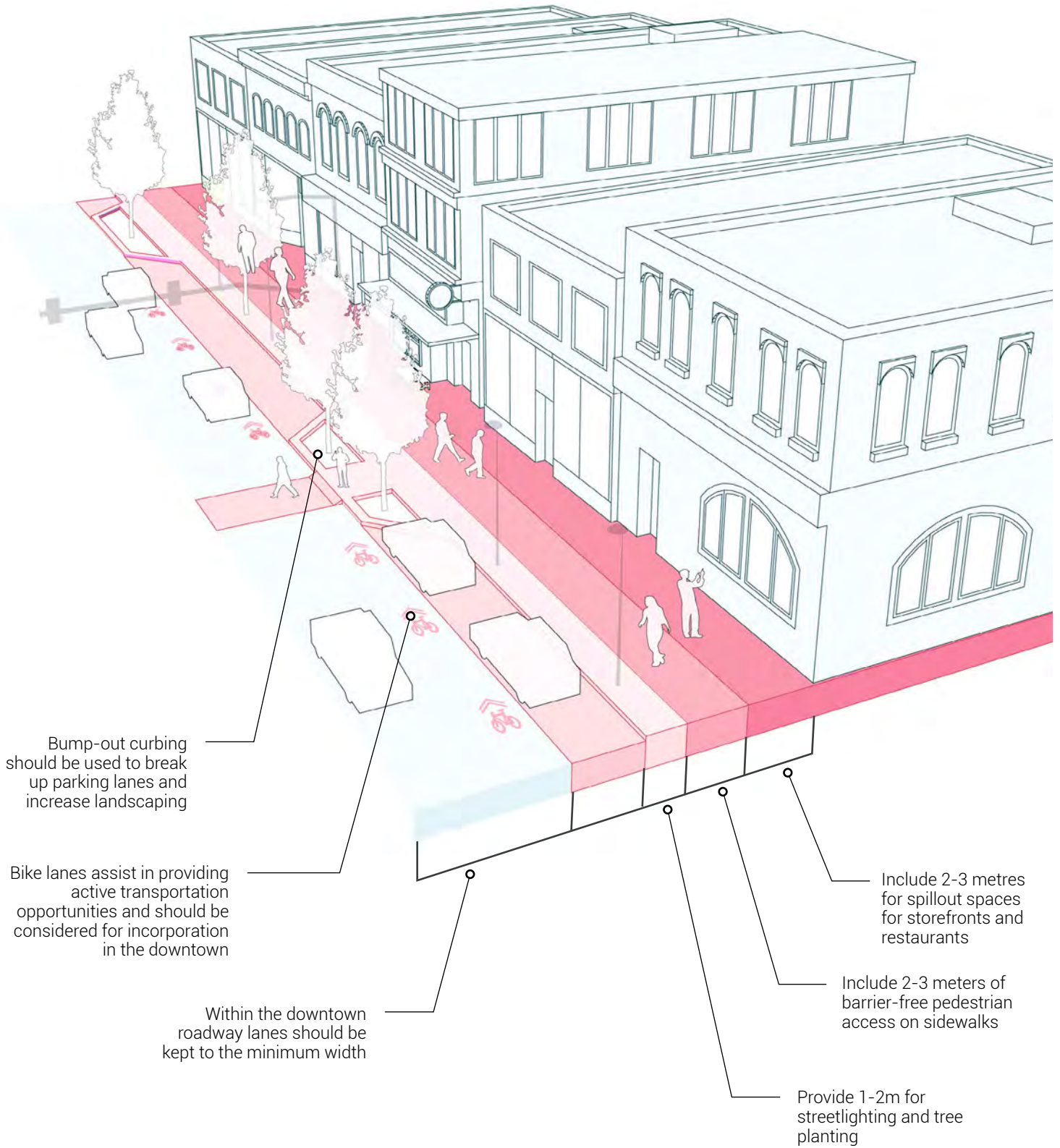


Figure 40 Streetscape Diagram

4.1.3 Street Furniture

Street furniture should be of a complementary and consistent style and may be of a heritage, classic, or contemporary style. It should be durable, weatherable, and easily available for purchase. Colours and materials should be coordinated as much as possible and painted finishes should be avoided. Plastic furniture should be avoided in favour of materials such as wood and metal.

Street furniture should not be used for advertising purposes except to identify the source of funding in small, simple lettering.

Street furniture should allow access and maintenance by emergency and service vehicles, particularly snow removal.

Bicycle racks should be installed at regular intervals. Post-and-ring designs are preferred for snow clearing and maintenance.

Grouping of street furniture such as garbage cans, bike racks, and planters into 'hubs' can assist with ease of maintenance along the sidewalk.

4.1.4 Street Trees, Landscaping & Planting

Plantings are intended to provide visual interest, direct pedestrian traffic, and screen utility and parking areas. Material should be selected based on climate zone, year-round visual interest, and ease of maintenance. Complex planting schemes should be avoided in favour of simple low-maintenance schemes at key locations and intersections.

On arterial roads sidewalks should be lined with a landscaped strip of 1 to 2 metres.

Street trees should be planted along streets and open spaces at 6 to 8 metre intervals. Trees should be selected based on their ability to be accommodated in an urban road allowance (i.e. appropriate height, size, hardiness, etc.). Where possible trees should be setback a minimum of 1 metre from roadway edge to protect against road salt.

Street trees should be planted with groundcover or shrubs and mulch or metal tree grates to ensure they do not suffer from soil compaction from pedestrian traffic. Where tree grates are used gravel should be filled under the grates to avoid the accumulation of garbage and debris.

Where new development requires a landscape strip they should be fully landscaped with a combination of trees, plantings. Strips less than 1 metre in width should be paved with a feature paving material.



Figure 41 Streetscape and Furniture Examples

4.2 Public Spaces + Art

4.2.1 Public Spaces

All spaces between buildings not used for parking, streets, sidewalks, or walkways should be treated and developed as public space accessible to pedestrians. Large expanses should incorporate trees and other landscape elements to reduce their scale.

Large developments should incorporate a public space into their design either dedicated to the Municipality or publically-accessible such as a public square, plaza, or mews. Additionally, the Strathroy Downtown Master Plan identifies a number of potential new or redesigned public spaces including the area in front of the Municipal Offices and Library / Museum that should be capitalised upon.

Any redesign of Front Street West between Caradoc and Frank Streets should consider the development of a “woonerf”, “flex-street” to facilitate the use of the street for public events and celebrations, particularly the Strathroy Farmers Market.

Public spaces should be framed by buildings with a clear purpose and programme. When required of a new development or when considered by the Municipality, barrier-free access, year-round usability should be primary considerations.

A landscape plan should be developed for all public spaces that includes the incorporation of both soft and hard landscape materials, and high-quality paving treatments that define the space and encourage its use and programming. Pedestrian scale down-lighting should be incorporated in all spaces.

Public spaces should be located in prominent and visible locations where the opportunity for casual surveillance exists. They are not recommended in places that would erode or disrupt the street wall or character, corners and intersections are also not recommended as these should be occupied by buildings that should frame the intersection.

4.2.2 Public Art

Public art is encouraged both as part of new development projects as well as part of a municipal or public initiative and includes sculpture, monuments, murals, frieze, and shelters.

Public art should be installed in prominent and visible locations where the opportunity for casual surveillance exists, this includes public squares, parks, in front of public buildings, and terminating vistas. In some limited instances art may also be appropriate at street intersection, boulevards / medians, when it has been determined it will not pose a safety hazard. The use of paving materials and plantings should be used to complement the piece as well as give it prominence and furniture (i.e. benches) for the public to admire pieces should be installed.

Temporary or rotating installation sites can provide an opportunity to engage the local art community and celebrate annual or anniversary occasions. Opportunities should be sought to celebrate historic events, people, and organisations.



Figure 42 Public Art and Space Examples

4.3 The Riverfront

New development proposed along the Sydenham River should incorporate and facilitate public access and views to the river and Alexandra Park, which may require the inclusion of land dedication to a public authority. The river should be treated as a primary frontage and provide pedestrian access along that frontage. Where feasible, it should incorporate active ground floor uses such as cafés, retail or community use. Alternatively, residential units are appropriate to front onto the river.

At a minimum a pedestrian-only route of 6 metres along the riverfront should be provided. The route should be tree-lined, landscaped and provide street furniture. Entrances to the riverfront are found at Frank, Caradoc, and Head Streets and should be developed as minor gateways to this frontage.

The design of any routes, buildings, landscaping, and other facilities and amenities along the riverfront should incorporate flood proofing or be designed to withstand periodic flooding. Nothing in these guidelines is intended to conflict with the regulations of the St. Clair Region Conservation Authority with regards to permitting and permitted uses.

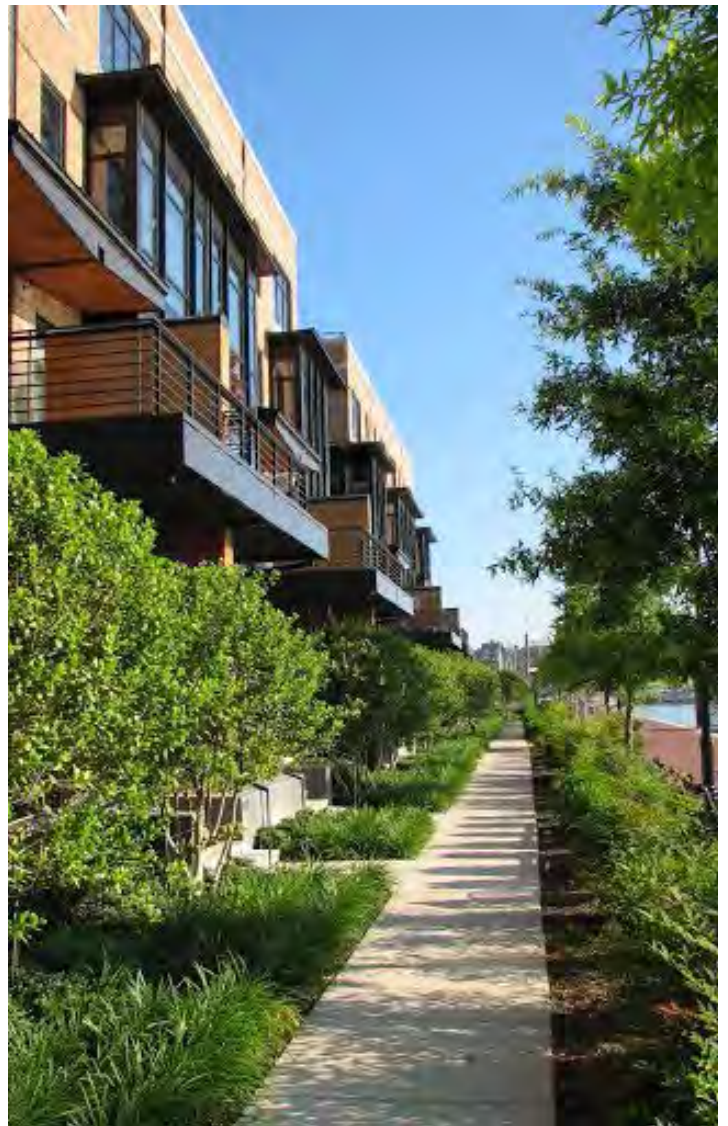


Figure 43 Riverfront Development Examples



5.0 Implementation

This section of the document outlines how the guidelines are to be implemented and is intended to assist both municipal staff and the development community in using the guidelines. The guidelines will be implemented through two primary means: first, will be through the review and approval of development applications under the Planning Act, including site plan control, minor variances, zoning by-law amendments, official plan amendments and land division; second will be through the review and approval of applications under the Municipality's Community Improvement Plan.

THIS STATUE HONOURS THE
VALOUR AND SACRIFICE OF ALL
CANADIANS WHO SERVED IN THE
GREAT WAR, 1914-1918.
ERECTED IN MEMORY OF
GENERAL SIR ARTHUR WILLIAM CURRIE,
CCMC, KCB, VD,
GENERAL OFFICER COMMANDING
THE CANADIAN CORPS FROM 1917-1919

5.1 Assessing Development Proposals

5.1.1 Interpretation

As noted in the Introductory section of this document, while the guidelines are intended to be an important tool in creating a consistent approach to, and understanding of, good urban design, it is recognized that they are a guidance document and are not intended to stifle good and creative design not contemplated by this document. Development proposals that do not necessarily meet specific criteria in the guidelines but still demonstrate high quality and thoughtful design that supports the guiding principles and overall intent of the guidelines should be considered on its individual merits.

5.1.2 Applications Subject to the Guidelines

The guidelines will be used to evaluate the following types of development applications in the Downtown as designated in the Official Plan:

- Site Plan Approval
- Community Improvement Plan Incentives

The guidelines may also be used to evaluate the following types of application dependant on their relevancy:

- Official Plan Amendments
- Zoning By-law Amendments
- Minor Variances
- Consent / Plan of Subdivision / Condominium

The guidelines will not be used to evaluate building permit applications, as they are not considered to be applicable law.

5.1.3 Assessing Development Proposals

To support the Municipality in assessing development applications in the Downtown, an urban design review process is provided in Figure 41 (page 60). The intent of the review process is to provide an objective and professional opinion on how individual development proposals meet both the direction found throughout the guidelines and the guiding principles. Generally, there are two streams of review: Standard and Minor.

Standard Stream Proposal – The standard stream is intended for review of site plan and community improvement plan applications involving the

construction of new buildings / additions, the wholesale development / redevelopment of lots, or for proposals that are proposing major alternations to facades or the character of buildings, as well as other planning applications involving the design and layout of the downtown (i.e. official plan / zoning by-law amendments, minor variances, etc.).

In these cases, proponents are required to submit a Guidelines Compliance Report completed by a qualified urban design professional, along with their application. The Municipality may require that the Compliance Report be peer reviewed by a qualified urban design professional at the expense of the applicant.

Minor Stream Proposal – The minor stream is intended for review of applications under the Municipality's Community Improvement Plan involving small or minor alternations or modifications to buildings and lots. This includes proposals to replace signage, windows and doors, re-point / repair brickwork and other architectural features, or painting. In these cases, proponents are not required to submit a Compliance Report, it may be prepared by Municipal Staff.

5.1.4 Guidelines Compliance Report

The Guidelines Compliance Report attached to this document summarises each guideline for an easy and comprehensive review and analysis of applications. Ideally the checklist should be completed by a professional (either part of the applicant's development team or by municipal staff). The Compliance Report is not intended to be a "pass / fail" exercise but is intended to assist applicants and the Municipality in a better understanding on the nature and character of the proposal in relation to the guidelines.

In cases where an applicant only partially complies or has not been able to comply with an individual guideline, a comment section is provided to explain the alternative method used, why compliance is not necessary or possible, and / or how the guiding principles are to be met while not fully complying. All instances of partial or non-compliance should be explained and justified by an applicant.

Regardless of stream, it is at the discretion of the Municipality to require an urban design professional to prepare or peer review a proposal and / or Compliance Report.

5.1.5 Best Practice & Legislative Requirements

The Urban Design Guidelines represent best practices and are intended to not only meet, but exceed, the minimum policy requirements and performance standards of the Official Plan and the Zoning By-law. Their authority, while not statutory, is found Section 26.5 of the Official Plan. In the event of conflict with the Official Plan or Zoning By-law, the Official Plan or Zoning By-law shall prevail.

5.1.6 Compliance with Other Requirements

Compliance with the guidelines does not relieve an applicant from having to comply with any other policies or regulations of the Municipality or any other authority, including the Province, the County, Conservation Authority and Canadian National Railways. The urban design guidelines are one component of a larger planning framework that applicants should familiarize themselves with and ensure compliance with.

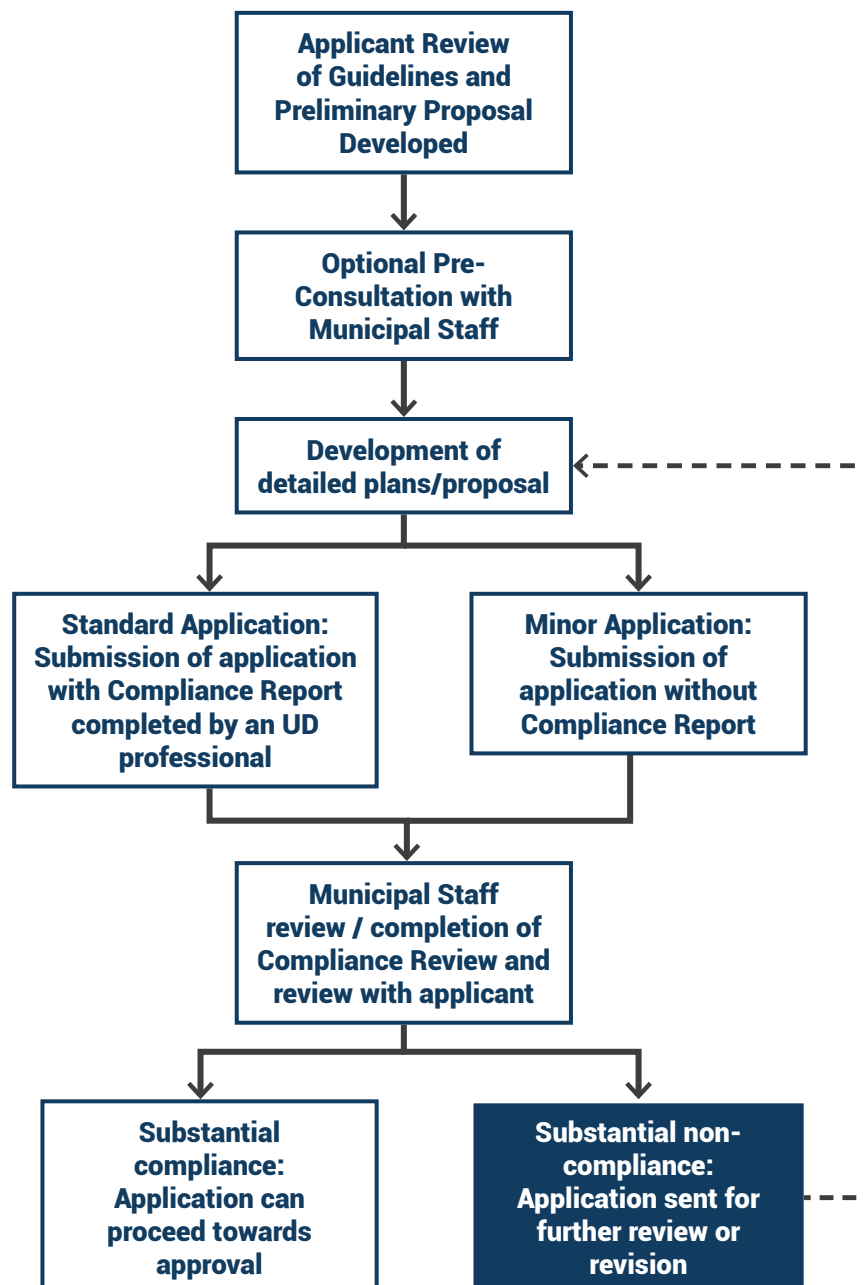



Figure 44 Development Proposal Assessment



An aerial photograph of a city, likely St. Louis, showing a dense urban area with numerous buildings, streets, and trees. A prominent red rectangular overlay covers the middle portion of the image, containing the title text in white. The background image is in a blue-tinted, semi-transparent style.

Appendix: Compliance Report

Guidelines Compliance Report: Standard Application

Name: _____

Property Address: _____

Description of Proposal: _____

Report Completed By: _____

Company: _____ Address: _____ T: _____ E: _____

Instructions

1. This report should only be completed after reading the Downtown Strathroy Urban Design Guidelines in their entirety.
2. The following summaries paraphrase the Guidelines for easy reference. These summaries do not replace the guidelines themselves and should not be interpreted as such.
3. Complete the relevant sections of this report indicating compliance with the guidelines as follows:

C= compliance
PC = partial compliance
NC = non-compliance
NA = not applicable
4. The comment section next to each guideline is available where additional information would be helpful to the reviewer in understanding your response. This is particularly relevant where 'partial compliance' or 'non-compliance' is noted.
5. This report is required for all Standard Applications as noted in Section 5.1 of the Guidelines.

3.1 Built Form + Site Configuration Guidelines

To be completed for all new buildings and major renovations to existing buildings.

Sect.	Guideline	C	PC	NC	NA	Comments
3.1.1	New development supports the creation of a street wall that frames streets and public spaces.					
	New development reflects and supports the retention of the existing street wall height.					
	Ground floor spaces are flexible and able to accommodate a range of commercial uses.					
3.1.2	New development is constructed to the front lot line or setback 1 to 2 metres.					
	New development is oriented and positioned to frame the street and internal driveways.					
	Corner buildings frames both streets and respect the setback / alignment of buildings on both streets. Commercial uses on the ground floor should wrap around the corner.					
3.1.3	Development is between two and three storeys in height or incorporates a step-back of a minimum of 1.5 metres.					
	If a one storey, the building incorporates additional height to raise the building upwards of two stories.					
	Building has a minimum ground floor height of 4.5 metres. Common height lines are respected and new construction blends within the existing streetscape.					
	Individual façades are between 6 and 8 metres wide, to a maximum of 15 metres or the building incorporates vertical elements to reduce the perceived scale of the building.					
3.1.4	Building is directly accessible from the street and provides barrier-free access to the public sidewalk.					
	Articulated and safe pedestrian access is provided to parking areas. Where a building abuts public space, pedestrian access and linkages are provided.					
3.1.5	Buildings fronting onto residential areas incorporate transitional elements to provide a gentle transition into these areas or incorporate a landscaped area for transition.					
3.1.6	Yards or open space between buildings are heavily landscaped at the street edge and through parking areas. Pedestrian amenities are also provided.					

3.2 Architectural Detailing + Character

To be completed for all new buildings and renovations for existing buildings.

Sect.	Guideline	C	PC	NC	NA	Comments
3.2.1	Infill development adjacent to historic development integrates into its location.					
	New development not adjacent to historic development is respectful of its broader architectural context including local heritage and architectural traditions.					
	Corporate-style or branded architecture is not permitted.					
3.2.2	Façades have a high degree of articulation with a variety of architectural elements.					
	New construction respects the architectural traditions of 19 th century commercial buildings.					
	Glass is the dominant ground floor material on façades representing approximately 75% of the wall surface.					
3.2.3	Awnings, canopies, and covered walkways or porticoes, are proposed with lighting and landscaping elements					
3.2.4	Lighting design, location, intensity and emitted colour are appropriate.					
	Lighting is low light, LED lighting illuminating only the sign band and building entrances.					
3.2.5	Signage presents a simple and legible message only and is designed at the appropriate a scale.					
	Primary signage is located on the sign band and text is easily legible.					
	Non-permitted signs are not proposed.					
3.2.6	Building materials are durable and convey a sense of permanence. They are compatible with surrounding buildings and use traditional building materials.					
	Prohibited building material are not proposed.					
3.2.7	Complementary materials and colours are used on the same block frontage.					
	Colours complement colour palettes from adjacent buildings and public spaces.					
	Vibrant colour accents are used on architectural features.					

3.3 Heritage Character Buildings

To be completed for developments / redevelopments involving heritage character buildings

Sect.	Guideline	C	PC	NC	NA	Comments
3.3.1	Maintenance, repair and restoration work is proposed using proper heritage conservation methods that meet established standards and practices.					
	Repair and renovations of original features is proposed.					
	Where it exists the heritage store frontage is preserved.					
3.3.2	Architectural details are to be retained, restored, or replicated.					
	Proposed cleaning methods meet established heritage conservation practices.					

Sect.	Guideline	C	PC	NC	NA	Comments
	Removal of painted brick and stonework is proposed, or repainting is to be undertaken using paint appropriate paint.					
	Brick and masonry repair is to be undertaken using proper heritage conservation materials and methods.					
	Spalled brick is to be repaired using proper heritage conservation materials and methods.					
3.3.3	Original heritage materials are to be replaced with the same material.					
	Original windows and doors are retained where possible or are replaced with replicas of the same configuration.					
	Façade is to be replaced with the same surface material.					
	Cornices and parapets are to be repaired and replaced to their original configuration.					
	Heritage roofing materials are to be replaced with similar materials.					
3.3.4	Colour schemes reflect heritage colour palettes.					
3.3.5	Additional storeys are limited to two storeys and stepped-back a minimum of 3 metres.					
	Ground level, additions are differentiated, subordinate, and compatible.					

3.4 Sustainable Development

To be completed for all new developments / redevelopments.

Sect.	Guideline	C	PC	NC	NA	Comments
3.4.1	Green building technologies and materials are proposed for new construction					
	Green roofs or reflective roof surface materials are proposed.					
	Water catchment and filtration is proposed.					
3.4.2	New development is sited to minimize the destruction of vegetation and existing trees are incorporated.					
	Site development takes into account existing topography and minimizes grading.					
	Shade trees and coniferous shrubs are proposed on-site					
	Site design minimizes impervious surfaces and uses porous pavement and landscaped areas to decrease water runoff.					

3.5 Parking, Loading + Utilities

To be completed for all new developments / redevelopments.

Sect.	Guideline	C	PC	NC	NA	Comments
3.5.1	Service bays, utilities, outside storage, rooftop mechanical and telecommunications equipment are visually and acoustically screened.					
	Garbage and recycling bins are stored internally or are located in the rear or side of the building and screened from public view.					

Sect.	Guideline	C	PC	NC	NA	Comments
3.5.2	Parking areas are proposed at the rear of the site or side yard.					
	Where parking areas abut a public street they are screened from view.					
	Vehicle access points are minimized.					
	Parking areas provide direct, barrier-free pedestrian access and circulation routes.					
	Bicycle parking is proposed in visible areas close to building entrances.					

3.6 Residential Development + Areas

To be completed for residential developments and development within Residential Character Areas.

Sect.	Guideline	C	PC	NC	NA	Comments
Residential Development + Areas						
3.6.1	Residential development is directed to areas fronting onto residential areas.					
3.6.2	New low density residential development respects the traditional built residential form found in the downtown.					
3.6.3	Medium density residential development is designed at a human scale.					
	Residential development incorporates commercial uses at street level and the ground floor treatment provides windows that occupy at least 50% of the façade.					
	Driveways and surface parking are located at the rear and are screened from view at sidewalk level.					
	Main building entrance are located fronting directly onto the street.					
	Transitions from the public to the private realm are proposed.					
3.6.4	Commercial development is designed and sited to integrate into residential areas.					
	Signage is appropriate located and sized.					
	Parking is located in the rear of the property.					

4.3 The Riverfront

To be completed for any development / redevelopment fronting onto the Sydenham River

Sect.	Guideline	C	PC	NC	NA	Comments
The Riverfront						
4.3	New development incorporates public access and views to the river and Alexandra Park. The river is treated as a primary frontage with pedestrian access and commercial ground floor uses proposed.					
	Pedestrian-only riverfront path is incorporated into the plan.					
	Flood proofing is incorporated into the design.					

Guidelines Compliance Report: Minor Application

Name: _____

Property Address: _____

Description of Proposal: _____

Report Completed By: _____

Company: _____ Address: _____ T: _____ E: _____

Instructions

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3. Complete the relevant sections of this report indicating compliance with the guidelines as follows:

C= compliance
PC = partial compliance
NC = non-compliance
NA = not applicable
4. The comment section next to each guideline is available where additional information would be helpful to the reviewer in understanding your response. This is particularly relevant where 'partial compliance' or 'non-compliance' is noted.
5. This report is required for all Minor Applications as noted in Section 5.1 of the Guidelines.

3.1 Built Form + Site Configuration Guidelines

To be completed for all new buildings and major renovations to existing buildings.

Sect.	Guideline	C	PC	NC	NA	Comments
3.1.1	Ground floor spaces are flexible and able to accommodate a range of commercial uses.					
3.1.4	Building is directly accessible from the street and provides barrier-free access to the public sidewalk.					
	Articulated and safe pedestrian access is provided to parking areas. Where a building abuts public space, pedestrian access and linkages are provided.					
3.1.6	Yards or open space between buildings are heavily landscaped at the street edge and through parking areas. Pedestrian amenities are also provided.					

3.2 Architectural Detailing + Character

To be completed for all new buildings and renovations for existing buildings.

Sect.	Guideline	C	PC	NC	NA	Comments
3.2.1	Corporate-style or branded architecture is not permitted.					
3.2.2	Façades have a high degree of articulation with a variety of architectural elements.					
	New construction respects the architectural traditions of 19 th century commercial buildings.					
	Glass is the dominant ground floor material on façades representing approximately 75% of the wall surface.					
3.2.3	Awnings, canopies, and covered walkways or porticoes, are proposed with lighting and landscaping elements					
3.2.4	Lighting design, location, intensity and emitted colour are appropriate.					
	Lighting is low light, LED lighting illuminating only the sign band and building entrances.					
3.2.5	Signage presents a simple and legible message only and is designed at the appropriate a scale.					
	Primary signage is located on the sign band and text is easily legible.					
	Non-permitted signs are not proposed.					
3.2.6	Building materials are durable and convey a sense of permanence. They are compatible with surrounding buildings and use traditional building materials.					
	Prohibited building material are not proposed.					
3.2.7	Complementary materials and colours are used on the same block frontage.					
	Colours complement colour palettes from adjacent buildings and public spaces.					
	Vibrant colour accents are used on architectural features.					

3.3 Heritage Character Buildings

To be completed for developments / redevelopments involving heritage character buildings

Sect.	Guideline	C	PC	NC	NA	Comments
3.3.1	Maintenance, repair and restoration work is proposed using proper heritage conservation methods that meet established standards and practices.					
	Repair and renovations of original features is proposed.					
	Where it exists the heritage store frontage is preserved.					
3.3.2	Architectural details are to be retained, restored, or replicated.					
	Proposed cleaning methods meet established heritage conservation practices.					
	Removal of painted brick and stonework is proposed, or repainting is to be undertaken using paint appropriate paint.					
	Brick and masonry repair is to be undertaken using proper heritage conservation materials and methods.					
	Spalled brick is to be repaired using proper heritage conservation materials and methods.					
3.3.3	Original heritage materials are to be replaced with the same material.					
	Original windows and doors are retained where possible or are replaced with replicas of the same configuration.					
	Façade is to be replaced with the same surface material.					
	Cornices and parapets are to be repaired and replaced to their original configuration.					
	Heritage roofing materials are to be replaced with similar materials.					
3.3.4	Colour schemes reflect heritage colour palettes.					

3.6 Residential Development + Areas

To be completed for residential developments and development within Residential Character Areas.

Sect.	Guideline	C	PC	NC	NA	Comments
Residential Development + Areas						
3.6.4	Commercial development is designed and sited to integrate into residential areas.					
	Signage is appropriate located and sized.					

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